



WESTMINSTER
COLORADO

AGENDA
PLANNING COMMISSION PRE-MEETING

Tuesday, July 25, 2023

***A light dinner for Commissioners and staff will be served from
5:45-6:10 p.m. in Conference Room C
Community Development, City Hall***

***Pre-Meeting Begins at 6:30 p.m.
Council Chambers Board Room
Main Level, City Hall***

ITEM NO. 1: Items for Planning Commission Discussion

Update on Concept Plan Review for Shoenberg Farms Commercial Lots 14A and 14D
presented to City Council at the July 17th Study Session

ITEM NO. 2: Upcoming Planning Commission Meeting Agenda Items

August 8, 2023 Public Hearing and Recommendation of the Preliminary Development
Plan and the Official Development Plan for Semper Gardens

ITEM NO. 3: Items on This Evening's Agenda

3a) Public Hearing and Recommendation of an Official Development Plan for Uplands
Filing 2, Block 1 *prepared by Jacob Kasza, Senior Planner*



PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES
Meeting Minutes of June 13, 2023
3. CONSIDERATION OF NEW BUSINESS
 - a. Public Hearing and Recommendation of an Official Development Plan for Uplands Filing 2, Block 1

Prepared by: Jacob Kasza, Senior Planner

4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission for in-person meetings.

For participation guidelines please visit www.cityofwestminster.us/pc

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers.
PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS WHEN YOU SPEAK.
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
 - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
 - b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.

NOTE: Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please

call 303-658-2092/TTY711 or State Relay or email jbaden@cityofwestminster.us to make a reasonable accommodation request.



WESTMINSTER

CITY OF WESTMINSTER
PLANNING COMMISSION
Meeting Minutes
June 13, 2023

1. ROLL CALL

The meeting was called to order at 7:00 pm by Vice-Chairperson Joe McConnell. Present were Commissioners Lawrence Dunn, David Carpenter, and Rick Mayo. Excused from attendance were Chairperson Jim Boschert and Commissioners Chennou Xiong, David Tomecek, Elisa Torrez, and Tracy Colling. Also present: Staff members Interim Planning Manager John McConnell, Senior Planner Stephanie Ashmann, Transportation Engineer Heath Klein, Deputy City Attorney Greg Graham, and City Clerk Abby Fitch. With the roll called, Vice-Chairperson McConnell stated that a quorum was present.

CONSIDERATION OF MINUTES

Meeting Minutes from May 23, 2023.

Commissioner Dunn made a motion to accept the minutes from the May 23, 2023, Planning Commission meeting. Commissioner Carpenter seconded the motion. The minutes were unanimously accepted (4-0).

2. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

3a) Public Hearing and Approval of an Amendment to the Preliminary Development Plan Bradburn Subdivision, Filing 1, 10th Replat Block 17, Lot 25 and Lot 26

Stephanie Ashmann, Senior Planner, entered into the record the agenda memorandum, attachments, PowerPoint presentation, certification of mailed notice, certification of posted notice, and public notice affidavit of publication from the *Westminster Window* on June 1, 2023. Ms. Ashmann narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend approval of the Second Amended Preliminary Development Plan to the Bradburn Subdivision, Filing 1, 10th Replat, Block 17, Lot 25 and Lot 26.

The applicant team, represented by Dan O'Brien of Presence Design Group narrated a PowerPoint presentation. Jonathan Nassar of Steelgenix was also present.

Commissioner Carpenter asked staff about the change of units. Would the nine units have any effect on the Comprehensive Plan or are we using what is technically allowable in the TMUND? Ms. Ashmann confirmed that the Bradburn TMUND category that was in the 2013 Comprehensive Plan has a density of 18 dwelling units per acre, when the water calculations were done, the density allocated that which also carried over with the 2040 Comprehensive Plan. Commissioner Carpenter asked staff to confirm that it was based on maximum density that the vacant lot could use, not the lesser density that is proposed. Mr. McConnell stated that it is important to note that in the presentation, the overall dwelling units in the PDP is seven dwelling units per acre which leaves room for additional dwelling units over and above the nine that they are requesting. Staff feels that the overall request of nine dwelling units is reasonable.

Commissioner Carpenter asked if someone could speak to the potential of coming back to discuss a parking reduction as stated in the agenda memo. Mr. O'Brien responded that his understanding is the parking reduction would be part of the ODP process submittal. The initial concept that has been developed wouldn't require a parking reduction for the overall sites. If

there is an increase in the residential units, this may be a consideration, but it is not a certainty at this point. Commissioner Carpenter asked for clarification if parking would be provided for the units. Mr. O'Brien confirmed that the standard Westminster requirements are being used and applied those ratios. Mr. Nassar added that they have conducted a parking study and traffic analysis. Lot 25 will have 56 spots and Lot 26 will have 53 spots for a total of 109 parking spots.

Commissioner Mayo asked for clarification if there is a restaurant on the ground floor and one on the roof. Mr. Nassar confirmed that is the current vision. Discussions around hours of operation to accommodate quiet times as well as types of restaurants are currently being worked out.

Vice-Chairperson McConnell asked what is the difference in elevation from the third floor adding the addition of the fourth floor and the restaurant on the roof. Mr. O'Brien stated that the height would be 13-14 feet on the fourth floor and the concept of the fifth floor is set back from the perimeter of the building so the building reads like a four-story building. All three views in the presentation are looking south/southeast.

Vice-Chairperson McConnell opened the public hearing at 7:25 pm.

There were four individuals that signed up to speak, all opposing the current proposal. Multiple concerns were heard about density and the amount of traffic that is already in that area. Bradburn is not a walkable area due to the vehicle traffic and this development is very out of character and not harmonious for the area. Parking, safety, snow removal, and deliveries are a concern. One request was to consider large speed bumps for the area to slow the traffic. Another speaker is concerned about the rooftop restaurant and the difference between having a fine dining restaurant and a bar which would potentially change the amount of traffic and parking in the area.

During public comment, staff was asked to clarify the number of available units. Ms. Ashmann confirmed that in 2002, there was an amendment to the PDP for the Bradburn Subdivision the total unit count for the subdivision would be 793 which includes all residential and the mixed-use buildings north of 118th that would have included residential. What the applicant's proposed, is to increase that number to be 802 which is adding 64 units. What is currently built in Bradburn is 738 units.

Chairperson Boschert closed the public hearing at 7:43 pm.

Commissioner Carpenter made a motion recommending that the Planning Commission recommend City Council approve the amended Preliminary Development Plan as proposed for Block 17, Lots 25 and 26 of the Bradburn Subdivision Planned Unit Development. This recommendation is based on a finding that the amended Preliminary Development Plan is generally supported by the criteria set forth in Sections 11-5-14 of the Westminster Municipal Code.

Commissioner Dunn seconded the motion.

Commissioner Carpenter asked if staff could speak to the traffic concerns. Mr. Klein stated that the additional nine units would add approximately an additional 90 trips per day from what was already anticipated in the area at full build. For the project itself, approximately 500 additional vehicles could be added per day that are not seen today. These empty lots were already planned for development (mixed-use and commercial), and what is being proposed was already anticipated in the original traffic report. The volumes that are being seen are unfortunate largely based on the charter school in the area which causes long backups in both the morning and afternoons. The streets were intentionally built narrow to slow traffic but unfortunately hasn't slowed everyone. Currently the City does not install speed humps decided by City Council as they create noise from trucks, trouble parking, and impacting residents. Staff has been looking at adding speed awareness signs which are installed once the 85th percentile traffic reach 20% higher than posted speed which would be 32 MPH, which currently speeds in

the area are about 28 MPH. Stop signs are also not added to deter speed as they increase the danger if people don't stop at the sign. Commissioner Carpenter stated that it sounds like there is a small speeding problem but is within the margin of error. Are there other traffic calming options? Mr. Klein stated that there are bulb outs at the intersections which make it uncomfortable to speed and the speed is posted but staff can look at it.

Commissioner Carpenter asked staff to confirm the height of the building – 3 story or 4 story with a rooftop deck. Ms. Ashmann stated that within the PDP language, it says limited fifth floor rooftop bar or restaurant. Once the application moves into ODP review, staff will take a closer look at the allowable uses, hours of operation, location on top of building, types of screening, etc. Commissioner Carpenter asked if hours of operation would be controlled through the ODP or if it is a bar, does a special license or permit control those hours. Ms. Ashmann didn't know the answer to that question but confirmed that she would get the answer to that question. The height of the building will also be looked at more closely during the ODP review process.

Mr. Graham stated that the SPLD cannot limit the hours of alcohol sales as that is statutory and they have no authority over that.

Vice-Chairperson McConnell asked staff to clarify the second exception of removal of the remaining 54 main street apartments to be replaced with the 48 main street condominiums was limited to Lot 25. Ms. Ashmann confirmed that the type of main street building that is listed in the PDP best fit what the applicant is proposing other than it said apartments. These are proposed to be for-sale condominium product. The full 54 units will not be going into that building but a portion will be going into the lot behind Lot 26. Lot 26 is listed in the PDP as mixed used which include residential. Vice-Chairperson McConnell asked for clarification on the townhomes to the east as being three story. Ms. Ashmann stated that the townhomes to the east are two story and the ones to the west are three story.

Commissioner Carpenter stated that he appreciates the applicant bringing the renderings and understands that people are concerned about what could be coming to the area. Overall, he is supportive of the change from apartments to condominiums but is concerned about the fifth story rooftop deck.

Commissioner Dunn expressed enthusiasm about this project, hoping it will revitalize the area. There will be an ODP review where specific resident concerns can be addressed.

Vice-Chairperson McConnell agreed with Commissioner Carpenter's concern about building height as well as traffic. Ms. Ashmann stated that after the Planning Commission packet was posted that she received email comments that expressed concerns about traffic, building height, and parking. Staff will include these comments as an addendum to the City Council packet.

The motion passed (3-1).

Vice-Chairperson McConnell clarified that the Planning Commission has recommended that the City Council approve the PDP. This will have to go to City Council for approval and any questions that weren't asked tonight will be able to be asked during the upcoming City Council meeting.

4. ADJOURNMENT

The meeting was adjourned at 8:07 p.m.

THE WESTMINSTER PLANNING COMMISSION

Joe McConnell, Vice-Chairperson

A full recording of the meeting has been posted on The City of Westminster website.
www.cityofwestminster.us/pc



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting July 25, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Recommendation of an Official Development Plan for Uplands Filing 2, Block 1

PREPARED BY: Jacob P. Kasza, Senior Planner

RECOMMENDED PLANNING COMMISSION ACTION:

1. Hold a public hearing.
2. Recommend to City Council that it approve the Official Development Plan for Uplands Filing 2, Block 1, subject to the condition set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Westminster Municipal Code, Section 11-5-15.

SUMMARY STATEMENT:

- The proposed development consists of one parcel of land totaling 16.5 acres, located south of West 84th Avenue, west of Lowell Boulevard, and north of Bradburn Boulevard, see Attachment 1.
- The applicant is requesting approval of an Official Development Plan (ODP) that would facilitate the subdivision of the property for 82 single family detached and attached homes, see Attachment 2.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should the Planning Commission recommend that City Council conditionally approve the ODP for the subject property known as Uplands Filing 2, Block 1?

ALTERNATIVE(S):

1. The Planning Commission could choose to recommend denial of the ODP. Staff does not recommend this option because the ODP is generally supported by the criteria set forth in Section 11-5-15 of the Westminster Municipal Code (W.M.C.).
2. The Planning Commission could choose to recommend approval of the ODP without the condition recommended by staff. Staff does not recommend this option because the condition of approval outlined in this agenda memo ensures that the ODP meets the Standards for Approval of Official Development Plans as well as requirements for recordation, site development standards, and unaddressed technical corrections.

BACKGROUND INFORMATION:Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a Preliminary Development Plan (PDP) and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses and identify allowed densities and intensities of use. The W.M.C. requires that all development be in compliance with the Comprehensive Plan. If the City Council chooses to approve this ODP, the next steps in the development review process will be to secure the approval of civil construction and building construction documents prior to allowing construction on the site.

History of Subject Property

The subject property was annexed in 1966. The property is currently zoned PUD with the PDP having been approved in December 2021. The property is vacant land and has been used for agricultural uses for approximately 100 years.

Nature of Request

The applicant is seeking approval of an ODP for Uplands Filing 2, Block 1. The proposed ODP allows for the construction of a total of 82 residential dwelling units. 38 of the units are single-family detached units and 44 of the units are single family attached. The proposal also includes a one and

one-half-acre park that will be publicly accessible in accordance with the conditions of approval for the PDP.

Applicant/ Developer/ Property Owner

Westminster Neighborhood Mixed Use, LLC
 Matt Childers
 14701 Philips Highway, Ste. 300
 Jacksonville, FL 32256
 matt.childers@dreamfindershomes.com

Location

Uplands Filing 2, Block 1 is a 16.5-acre property located south of West 84th Avenue, west of Lowell Boulevard, and north of Bradburn Boulevard, see Attachment 1.

Surrounding Land Uses and Designations

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Shaw Heights and Mountain Terrace Apartments	R-3, R-A	Residential Low Density and Suburban Multi-Family	Single Family Detached Residential and Multi-Family
East	Belleview Christian School, College, and Seminary, and Single-Family Residences	A-2 (Adams County)	Public/Quasi-Public (Adams County)	Private School and Single Family Detached Residential
South	Uplands	PUD	Residential Low Density	Vacant
West	Shaw Heights	R-A	Residential Low Density, Neighborhood Office	Single Family Detached Residential

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before the Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably

visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Interim Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.

- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall mail individual notices by first-class mail to all addresses within 1,000 feet of the subject property. The mailing list to be used shall be provided to the applicant by City staff. The applicant has provided the City's Interim Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

1. *The plan is in conformance with all City Codes, ordinances, and policies.*

The ODP generally meets all City Codes, ordinances, and policies. The applicant identifies several exceptions to codes and policies that are requested for approval.

2. *The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

The ODP is in conformance with the Uplands PDP.

3. *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The ODP provides for tuck-under garages to minimize the impact of the existing grade on the site plan. This housing type was recommended by Staff to help reduce the amount of retaining walls and maximize the useful shared common space. The applicant has proposed to increase the total landscaped area and park space to mitigate the reduction in private yard area.

4. *For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

The applicant is requesting eleven exceptions with the ODP. The exceptions and justifications for the exceptions are provided on sheets 5 and 6 of Attachment 2. The exceptions either require City Council review and consideration or are being referred to the City Council for their review and consideration. The applicant has provided an additional narrative and justification in Attachment 3.

- 5. The plan is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the plan is generally compatible with existing public and private development. The plan limits new vehicular access to Bradburn Boulevard but increases the walkability of the neighborhood with new sidewalks and connections. The home types and scale are limited to two stories. Setbacks are provided along the perimeter of the development giving a large amount of buffer space.

- 6. The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

The ODP provides significant setbacks, landscaping, and screening from surrounding development. Staff finds that the proposed plan provides protection from adverse influences from the surrounding area and from within the development.

- 7. The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

The proposed ODP has no significant adverse impacts on future land uses and future development. Setbacks are provided around the perimeter of the development and all access points are designed to City Standards.

- 8. The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The ODP proposes a new public street with two large alleys with homes gaining vehicular access from the alleys. The uses are consistent with neighboring uses and the addition of a publicly accessible park will be of great benefit to the community.

- 9. Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The proposed residential lots are between 2,300 to 2,800 square feet. Setbacks are shown on sheet 9 of Attachment 2. The applicant is requesting exceptions to the design standards for setbacks, off street parking, and lot size as shown on sheets 5 and 6 of Attachment 2.

- 10. The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The proposed design of the houses is shown on sheets 52 through 83 of Attachment 2. The applicant is requesting exceptions to the design standards for architecture as shown on sheets 5 and 6 of Attachment 2.

- 11. Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

The ODP proposes some use of fencing to provide screening for the development. Additional screening is provided by new landscaping. Due to the grade of the site and the proposed design, berms cannot be included with this layout. The applicant is requesting exceptions to the design standards for landscaping berms as shown on sheets 5 and 6 of Attachment 2.

12. Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.

The proposed landscaping is in conformance with the City's Landscaping Regulations. Staff finds that if all recommended conditions are met the landscaping is adequate and appropriate.

13. Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.

Staff have reviewed a traffic study for the development and find that the streets are adequate for the proposed development.

14. Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.

The proposed streets and access points have been designed to meet the City's Engineering Standards and Specifications. The proposed access point on Bradburn Boulevard will reduce the impacts on neighbors to the north and west.

15. Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.

The proposed development includes new sidewalks and pedestrian connections. Each home will be accessible by a private walk. The site plan accommodates multiple pedestrian connections to limit the distance a pedestrian would need to walk.

16. Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.

The Public Works and Utilities Department and the Storm Drainage Division of the Community Development Department have reviewed the plans, Phase II Drainage Study, and Utility Study and found they can conform with the PDP and utility master plans if the recommended condition is met, see Attachment 4.

17. The applicant is not in default or does not have any outstanding obligations to the City.

The applicant is actively working to fulfill the obligations of the conditions of approval for the Preliminary Development Plan.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

A neighborhood meeting was held virtually on April 5, 2023. The neighborhood meeting was recorded and is viewable on the City's YouTube page, where it has been viewed 101 times.

In advance of the neighborhood meeting, the applicant mailed notice of the meeting to property owners, occupants, and homeowners associations registered with the City within 1,000 feet of the

Subject Property on March 22, 2023. The meeting was also advertised on the City's website. 15 persons attended the project meeting. The applicant started the meeting with a presentation about the proposed development and staff gave an overview of the development review process.

Staff received several public comments on the proposed development and those are included in Attachment 5.

Summary of Staff Recommendation

Staff recommends that the Planning Commission recommend approval of the ODP, subject to the Additional Condition.

"The Additional Condition" shall mean:

Prior to recordation of the ODP and issuance of a building permit, the applicant shall submit for staff review and approval the technical corrections outlined in Attachment 4.

Any commitment made by the applicant during the required City Council public hearing shall be identified and included as an Additional Condition.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of ensure that Westminster offers a diverse range of amenities and activities for residents, businesses and visitors that honor the City's history and support the arts, parks, recreation, open spaces, and libraries is met by facilitating new development and providing new publicly accessible park space.

Respectfully Submitted,



John McConnell, AICP
Interim Planning Manager

ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: Proposed Official Development Plan

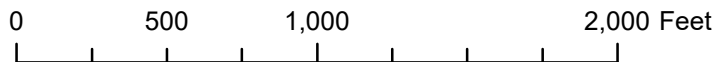
Attachment 3: Applicants Narrative

Attachment 4: Outstanding Technical Corrections

Attachment 5: Public Comment



Vicinity Map
Uplands Parcel B-1
Vacant Land near W 84th Ave and Lowell Blvd



LEGAL DESCRIPTION

A REPLAT OF THE BLOCK 1 & OUTLOT A OF UPLANDS FILING NO. 2, REC NO.

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PROJECT TEAM

PROPERTY OWNER / APPLICANT
WESTMINSTER NEIGHBORHOOD MIXED USE, LLC
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DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

- THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH COMPLETION OF HOMES ANTICIPATED WITHIN 5 YEARS, SUBJECT TO MARKET CONDITIONS.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 87

VICINITY MAP



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

	ZONING	LAND USE	COMP. PLAN
PA-B(1):	PUD	VACANT	RESIDENTIAL LOW DENSITY
NORTH:	R-3, R-A	SINGLE-FAMILY RESIDENCES AND MOUNTAIN TERRACE APARTMENTS	RESIDENTIAL LOW DENSITY, SUBURBAN MULTI-FAMILY
SOUTH:	R-3	VACANT	RESIDENTIAL LOW DENSITY
EAST:	A-2 (ADAMS COUNTY)	BELLEVUE CHRISTIAN SCHOOL, COLLEGE & SEMINARY, SINGLE FAMILY RESIDENCES	PUBLIC/QUASI PUBLIC (ADAMS COUNTY)
WEST:	R-A	SINGLE FAMILY RESIDENCES	RESIDENTIAL LOW DENSITY, NEIGHBORHOOD OFFICE

SHEET INDEX

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11	EXISTING CONDITIONS PLAN	56	PLAN 2 & 3 LOT TYPICALS
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42	FENCING PLAN		

OWNER APPROVAL

I, _____, AS _____ OF _____, A _____, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

SIGNATURE _____ TITLE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK ____M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

PERMITTED / PROHIBITED USES

PERMITTED USES:

- SINGLE-FAMILY ATTACHED (PAIRED HOME) RESIDENCES
- SINGLE-FAMILY DETACHED RESIDENCES
- PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES, PARKS AND OPEN SPACE
- TEMPORARY SALES OFFICE AND PARKING LOT
- TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE

PROHIBITED USES:

- ACCESSORY STRUCTURES. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON PRIVATE LOTS.
- ALL ACCESSORY STRUCTURES IN THE COMMON AREA SHALL BE REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN (RECEPTION #2022000055313) FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE NOT PROPOSED WITH THIS ODP.



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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23

1 OF 87
COVER

CASE #: PLN23-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 87



LOTS & COVERAGE

SURFACE TYPE WITHIN UPLANDS PA-B(1)	AREA (SF)	% OF SITE
BUILDING AREA	148,063.1	21%
PAVING (ALLEYS / WALKS / ROADS / DRIVEWAYS)	155,667.1	22%
COMMON OPEN SPACE	312,103.0	43%
PLD AREA	103,493.5	14%
TOTAL AREA	719,326.7	100%

PROJECT / SITE DATA

TOTAL ODP BOUNDARY AREA:	719,326.7 SF / 16.513 AC
RESIDENTIAL UNITS PROPOSED:	82
GROSS DU PER ACRE:	4.97
MAXIMUM BUILDING HEIGHT(S) (FT):	+/- 32'-2" (PER IRC)
MINIMUM LOT SIZE:	2,300 SF / 0.05 AC

OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE

	TOTAL UNITS IN ODP	DETACHED UNITS IN ODP	ATTACHED UNITS IN ODP	TOTAL UNITS IN PDP	TOTAL DETACHED UNITS IN PDP (# / %)	TOTAL ATTACHED UNITS IN PDP (# / %)
PA-B(1)	82	38	44	2350	38/1.62%	44/1.87%
TOTAL:	82	38	44	2350	38/1.62%	44/1.87%

PARCEL B(1) - PERIMETER SITE SETBACKS

	BUILDING (1)(6)		PARKING	
	REQUIRED (6)	PROVIDED	REQUIRED	PROVIDED
FROM RIGHT-OF-WAY (FT):				
84TH AVENUE	30'	179'	25'	N/A
LOWELL BLVD.	32'	479'	30'	N/A
BRADBURN BLVD.	32'	44'	30'	N/A
FROM INTERNAL PROPERTY LINES (FT):				
NORTH PROPERTY LINE (ADJACENT TO MF)	35'	61'	35'	39'
WEST PROPERTY LINE (ADJACENT TO SFD)	50'	57'	45'	57'
BETWEEN BUILDINGS (FT):	15'	15'	N/A	N/A
FROM PUBLIC LAND DEDICATION (FT):	20'	32'	20'	N/A

NOTES

- SETBACKS ARE MEASURED FROM PERIMETER PROPERTY LINE, ROW, OR PLD (WHICHEVER IS APPLICABLE) TO PRIMARY BUILDING.
- PER THE SFA DESIGN STANDARDS, THE MINIMUM SETBACK ADJACENT TO SINGLE-FAMILY DETACHED SHALL BE THE GREATER OF 40 FT. OR 1.5 X BUILDING HEIGHT AS DEFINED BY THE IRC.
- PUBLIC LAND DEDICATION SETBACK (PUBLIC PARKS OR OPEN SPACE) IS MEASURED FROM TRACT OR OUTLOT TO PRIMARY BUILDING.
- ENCROACHMENTS INCLUDING FENCES, WALLS, PEDESTRIAN-ORIENTED PORTIONS OF ROW (SUCH AS TREE LAWN AND WALK), AND ALLEYS ARE PERMITTED WITHIN ALL SETBACKS AS NOTED IN THE CHART ABOVE.
- PORCHES MAY ENCROACH INTO PERIMETER SETBACKS, BUT MUST COMPLY WITH LOT SETBACKS DEFINED ON SHEET 7.
- WHERE SFD AND SFA REQUIREMENTS DIFFER, THE HIGHER MINIMUM SETBACK HAS BEEN LISTED.

PARKING REQUIREMENTS

	TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)*	PROVIDED (ON-STREET)*
SFA	OFF-STREET (2/UNIT)	44	88	88	0
	GUEST (1/3)*		15		
SFD	DRIVEWAY (2/UNIT)*	38	76	76	0
	ENCLOSED (2/UNIT)		76		
TOTAL		82	255	207	48
TOTAL PROVIDED				255	

*SEE GUEST PARKING BELOW AND ENCLOSED PARKING STUDY FOR EXCEPTION REQUEST AND FURTHER JUSTIFICATION.

**THE ACCESSIBLE STALL COUNT IS INCLUSIVE OF THE VAN ACCESSIBLE STALL COUNT. AS SUCH, VAN ACCESSIBLE STALLS HAVE NOT BEEN INCLUDED IN THE TOTAL.

***ADDITIONAL SFD SPACES MAY BE AVAILABLE VIA OPTIONAL 3-CAR GARAGES.

GUEST PARKING BREAKDOWN

	TYPE	REQUIRED	PROVIDED
ROW	OSCEOLA STREET	0	48
SURFACE	STANDARD	0	41
	ACCESSIBLE	2	2
	VAN ACCESSIBLE**	1	2
TOTAL		15 SFA / 76 SFD = 91	91
ADDITIONAL ROW PARKING	BRADBURN STREET	0	49

EV AND BIKE PARKING

	REQUIRED	PROVIDED
EV CHARGING	82	82
BICYCLE PARKING	21	22

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

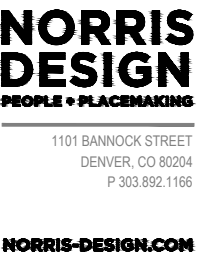
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

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SUB-02: 04.13.23

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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
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 SHEET 3 OF 87



PROJECT NOTES

PARK DEVELOPMENT FEES

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$1,934.00 PER SINGLE-FAMILY ATTACHED, AND \$2,378.00 PER SINGLE-FAMILY DETACHED (2023) PER DWELLING UNIT IS DUE TO THE CITY. FOR 44 PAIRED DWELLINGS AND 38 SINGLE FAMILY DWELLINGS THE TOTAL FEE IS \$175,460.00. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

SCHOOL LAND DEDICATION

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, PAIRED HOMES, AND ADUS), A FEE OF \$468.00 PER DWELLING UNIT, AND FOR SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS), A FEE OF \$876.00 (2023) PER DWELLING UNIT IS DUE TO THE CITY. FOR 44 PAIRED DWELLINGS AND 38 SINGLE FAMILY DWELLINGS THE TOTAL FEE IS \$53,880.00. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PUBLIC ART

NOT APPLICABLE.

RECOVERY COSTS

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS

MAXIMUM DENSITY OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.92 ACRE COMMUNITY.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-B, A MINIMUM OF 12.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION. OF THIS, A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL PDP, WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF EACH ODP.

34 ACRES OF PHYSICAL LAND DEDICATION ARE REQUIRED WITHIN UPLANDS AS DESCRIBED IN THE PDP. THIS INCLUDES A REQUIREMENT FOR 2.30 ACRES OF PHYSICAL LAND DEDICATION ON THE EASTERN SIDE OF PA-B(1):

PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2.5 PERSONS PER SFA UNIT AND 3.0 PERSONS PER SFD UNIT. FOR 82 UNITS THE POPULATION IS 224 PERSONS. FOR 224 PERSONS THE PUBLIC LAND DEDICATION REQUIRED IS 2.69 ACRES. AS SHOWN IN THIS ODP, 2.376 ACRES OF PHYSICAL LAND DEDICATION IS PROVIDED WITH THIS NEIGHBORHOOD WHICH DOES NOT MEET THE REQUIREMENT FOR THE 2.69 ACRES OF PHYSICAL LAND DEDICATION FOR PA-B(1). A CASH-IN-LIEU PAYMENT FOR 0.46 ACRES OF LAND WILL BE PROVIDED WITH THE UPLANDS OVERALL INFRASTRUCTURE FINAL PLAT AND ASSOCIATED AGREEMENT(S).

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

PARCELS	PHYSICAL PLD ACRES REQUIRED	PLD ACRES DEDICATED ODP XXX00-0000	PLD ACRES REMAINING	VIEW CORRIDOR ACRES REQUIRED	VIEW CORRIDOR ACRES DEDICATED ODP XXX00-0000	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	0	21.00 AC	-	-	-
PARCEL B	6.06 AC	2.376	3.69 AC	3.28 AC	0	3.28 AC
PARCEL C	3.00 AC	0	3.00 AC	-	-	-
PARCEL D	4.24 AC	0	4.24 AC	3.07 AC	0	3.07 AC
PARCEL E	-	0	-	-	-	-
TOTAL	34.30 AC	2.376	31.93 AC	6.35 AC	0	6.35 AC

NOTE: PLD FOR EACH PLANNING AREA IS BASED UPON THE PERCENTAGE OF POPULATION FOR THE OVERALL DEVELOPMENT AND AS DEPICTED IN THE APPROVED UPLANDS PRELIMINARY DEVELOPMENT PLAN. THE BELOW CHART SHALL BE UPDATED WITH FINAL UNIT COUNTS AT EACH SITE-SPECIFIC ODP.

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

PLANNING AREA	LAND USE	GROSS AREA (AC)	% OF SITE	GROSS DENSITY RANGE MIN.-MAX. (DU/AC)	MAX. # OF UNITS	UNITS BY TYPE					PROJECTED POPULATION				% OF POPULATION	TOTAL PLD ACRES REQUIRED	PLD CASH-IN-LIEU ACRES	
						SFD	OR	SFA	OR	MF	SFD 3.0 / UNIT	OR	SFA 2.5 / UNIT	OR				MF 2.0 / UNIT
PA-A(1)	RESIDENTIAL	22.24	9.51%	4.0-5.6	124	49		33		0	147		82.5		-	1.58%	2.75	0.35
PA-A(2)	RESIDENTIAL	13.98	5.98%	6.0-10.3	143	25		110		0	75		275		-	1.44%	4.20	0.32
PA-A(3)	RESIDENTIAL	20.21	8.65%	5.5-7.0	141	40		89		0	120		222.5		-	2.30%	4.11	0.51
PA-A(4)	RESIDENTIAL	13.67	5.84%	7.0-9.5	129	36		91		0	108		227.5		-	2.07%	4.03	0.45
PA-A(5)	RESIDENTIAL	18.20	7.78%	8.0-9.5	172	94		65		0	282		162.5		-	5.40%	5.33	1.19
PA-A(6)	RESIDENTIAL	23.83	10.19%	5.2-5.9	140	25		35		80	75		87.5		160	1.44%	3.87	0.32
PA-A(7)	RESIDENTIAL	18.62	7.96%	8.0-10.3	191	180		0		0	540		0		-	10.35%	6.48	2.27
PA-A(8)	RESIDENTIAL / MIXED-USE / COMMERCIAL	19.54	8.35%	20.0-25.2	491	0		49		369	0		122.5		738	13.83%	10.33	3.04
PA-B(1)	RESIDENTIAL	16.29	6.96%	4.15-5.0	82	38		44		0	114		110		-	2.11%	2.69	0.46
PA-B(2)	RESIDENTIAL	13.32	5.69%	1.0-2.0	26	26		0		0	78		-		-	1.49%	0.94	0.33
PA-C(1)	MIXED-USE / COMMERCIAL	16.32	6.98%	15.0-22.7	370	0		0		370	0		-		740	14.18%	8.88	3.12
PA-C(2)	RESIDENTIAL	13.77	5.89%	8.0-18.0	247	0				247	0		-		494	9.46%	5.93	2.08
PA-D(1)	RESIDENTIAL	19.60	8.38%	4.0-4.8	94	47		47		0	141		117.5		-	2.70%	3.10	0.59
PA-D(2)	OFFICE	3.10	1.33%	-	-	0		0		0	0		-		-	-	0.00	0.00
PA-E	PRIVATE OPEN SPACE	1.23	0.53%	-	-	0		0		0	0		-		-	-	0.00	0.00
		233.92	100.0%		2350	560		563		1066	1680		1407.5		2132	100.00%	62.63	21.98
						2189	POTENTIAL POPULATION						5219.5					

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23
SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 87



OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

THE GENERAL INTENT OF THIS ODP IS TO:

- 1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-5-5: OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-15: STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPS.

PROJECT SCOPE:

THE ODP AREA CONTAINS 16.51 ACRES BOUNDED BY BRADBURN DRIVE TO THE SOUTH, EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL TO THE WEST, W. 84TH AVENUE AND AN EXISTING MULTI-FAMILY RESIDENTIAL COMMUNITY TO THE NORTH, AND LOWELL BLVD. TO THE EAST.

THE ODP PROPOSES A TOTAL OF 44 SINGLE-FAMILY ATTACHED (PAIRED) HOMES AND 38 SINGLE-FAMILY DETACHED HOMES, FOR A TOTAL OF 82 UNITS BETWEEN 60 TOTAL BUILDINGS. THIS RESULTS IN A GROSS DENSITY OF 4.97 DU/AC ON PA-B(1), CONSISTENT WITH THE COMPREHENSIVE PLAN LAND USE DESIGNATION OF R-5.

GIVEN THE STEEP TOPOGRAPHY ON THE SITE, CAREFUL CONSIDERATION HAD TO BE MADE TO ENSURE A COHESIVE AND CONNECTED LAYOUT THAT MAXIMIZED THE USABLE, FUNCTIONAL COMMON AND PARK SPACE. TO ABSORB THE EXISTING GRADE, THE NEIGHBORHOOD UTILIZES A MIX OF PATIO AND TUCK-UNDER HOMES. THE PATIO HOMES ARE TWO-STORIES, WHILE THE TUCK-UNDERS INCLUDE A TWO-STORY FRONT ELEVATION AND THREE-STORY REAR ELEVATIONS. THIS HOME TYPE ALLOWS THE GRADE TO BE ABSORBED ALONG THE SIDES OF THE HOME, MINIMIZING THE IMPACT OF GRADE CHANGE. THE TUCK-UNDER HOMES ABSORB THE GRADE ALONG THE SIDES OF THE HOMES, REDUCING THE AMOUNT OF RETAINING WALLS AND STAIRS ACROSS THE NEIGHBORHOOD, WHILE ENHANCING THE PEDESTRIAN EXPERIENCE ALONG STREETS.

ALL THE HOMES ARE ALLEY-LOADED AND TYPICALLY FRONT PUBLIC STREETS, PUBLICLY-ACCESSIBLE PRIVATE PARKS, PERIMETER OPEN AREAS, OR PUBLIC LAND DEDICATION. EACH HOME IS EQUIPPED WITH A TWO-CAR ATTACHED GARAGE; ADDITIONAL PARKING IS PROVIDED ON THE PROPOSED LOCAL STREET, BRADBURN DRIVE AND IN DESIGNATED OFF-STREET PARKING AREAS.

THE PROPOSED NEIGHBORHOOD INCLUDES A 2.37 ACRE SITE FOR PUBLIC LAND DEDICATION AT THE NORTHWEST CORNER OF LOWELL BOULEVARD AND BRADBURN BOULEVARD, CONSISTENT WITH THE UPLANDS PDP. THERE IS ALSO A 1.3 ACRE PRIVATE PARK CENTRAL TO THE NEIGHBORHOOD.

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

STANDARD STATEMENTS, CONT.

- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS, EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO

STANDARD STATEMENTS, CONT.

- Q. PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- R. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.
- V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

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WESTMINSTER, COLORADO

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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 5 OF 87



UPLANDS

DATE: 06.07.2023

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**OFFICIAL DEVELOPMENT PLAN
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OFFICIAL DEVELOPMENT PLAN
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R E V I S I O N S

SUB-02: 04.13.23

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**5 OF 87
 EXCEPTIONS**

DESIGN EXCEPTIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS REQUESTED IN UPLANDS FILING NO. 2 - BLOCK 1. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE AND DESIGN STANDARDS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE PUD ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO UPDATE THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER; THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. SUPPORTING DOCUMENTS INCLUDE:

- **2013 COMPREHENSIVE PLAN** - THE LAND USE DESIGNATION FOR THIS PLANNING AREA WAS AMENDED TO ALLOW FOR A LARGER VARIETY OF HOUSING TYPES
- **2017 HOUSING NEEDS ASSESSMENT** - THIS STUDY INCLUDES RECOMMENDATIONS TO ACCOMMODATE A VARIETY OF HOUSING CHOICES AND PRICE POINTS; BUILDING SMALLER HOMES ON SMALLER LOTS TO CREATE AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE THEREBY LOWERING THE OVERALL COST; AND ENABLING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.
- **WESTMINSTER MUNICIPAL CODE (WMC)** - THE SITE IS ZONED PUD; PER CODE, THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE, TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL STANDARD ZONING REGULATIONS.
- **PRELIMINARY DEVELOPMENT PLAN (PDP)** - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES

OFF-STREET PARKING:

STANDARD: -SFA (WMC 11-7-4-B-2-II): OFF-STREET GUEST PARKING REQUIREMENT OF 1 SPACE/3 UNIT (15 SPACES)

-SFD (WMC 11-7-4-B-2-I AND DS-5C): DRIVEWAY GUEST PARKING REQUIREMENT OF 2 SPACES/UNIT (76 SPACES)

REQUEST: UPLANDS REQUESTS THE EQUIVALENT NUMBER OF SPACES BE PROVIDED THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND ON-STREET (INTERNAL LOCAL ROADS) PARALLEL SPACES. UPLANDS PROVIDES 50 PARALLEL SPACES ALONG OSCEOLA STREET AND 42 OFF-STREET SURFACE SPACES.

JUSTIFICATION: THIS EXCEPTION DOES NOT REDUCE THE QUANTITY OF PARKING SPACES PROVIDED, BUT SIMPLY ALLOWS FOR THESE SPACES TO BE PROVIDED THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS).

COMP PLAN: THIS EXCEPTION REQUEST ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY; THE PROPOSED NEIGHBORHOOD INCLUDES COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY ENCOURAGING 'ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING' AND PROVIDES FOR 'DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN' THROUGH THE USE OF ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES). THE PROPOSED ALLEY-LOADED DESIGN IS MORE CONSISTENT WITH A NEO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY THAN A STANDARD SUBURBAN NEIGHBORHOOD. FINALLY, THE INCLUSION OF ON-STREET PARKING ADDS NATURAL FRICTION TO THE STREET THAT HELPS SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS (DIVERSITY AND FLEXIBILITY IN OVERALL DESIGN).

OTHER: THIS EXCEPTION REQUEST IS FURTHER SUPPORTED IN THE PARKING STUDY, INCLUDED WITH THIS SUBMITTAL.

PROXIMITY TO ADJACENT USES (SETBACKS):

STANDARD: -SFA (DS-1C): WITHIN THE REQUIRED SETBACK AREAS FROM THE PROPERTY LINES, A PERMANENT 35-FOOT LANDSCAPE AREAS SHALL BE PROVIDED ALONG EACH PROPERTY LINE. NO DETENTION AREAS ARE PERMITTED IN THIS AREA.

REQUEST: UPLANDS REQUESTS THE DETENTION POND BE LOCATED WITHIN THE 35' SETBACK.

JUSTIFICATION: THIS EXCEPTION ONLY APPLIES TO THE DETENTION POND; ALL PERIMETER BUILDING AND PARKING SETBACKS ARE MET FOR THE NEIGHBORHOOD. STORMWATER DETENTION REQUIRES THE LOWEST POINT OF ELEVATION TO BE FULLY FUNCTIONAL. DUE TO THE EXISTING TOPOGRAPHY OF THE SITE (STEEPLY SLOPING DOWN TO 84TH), THE POND COULD NOT BE RELOCATED WITHIN THE NEIGHBORHOOD AND EFFECTIVELY CAPTURE ON-SITE RUNOFF. LANDSCAPING IS PROVIDED IN BOTH THE DETENTION POND AND LANDSCAPE BUFFER SOUTH OF 84TH, MEETING THE INTENT OF PROVIDING COMPATIBLE LAND USES AND MAINTAINING AESTHETIC QUALITY.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PERMITTING 'THE DEVELOPER AN OPPORTUNITY TO MORE FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE THROUGH...THE ABSENCE OF SETBACK AND BULK RESTRICTIONS'. IN THE CONTEXT OF THIS SITE'S TOPOGRAPHY, LOCATING THE DETENTION POND AT THE NORTH END OF THE SITE MAKES THE BEST USE OF THE LAND. IT ALLOWS THE NATURAL DRAINAGE TO FUNCTION FOR THIS NEIGHBORHOOD WHILE ALSO IMPROVING THE DRAINAGE CONDITIONS FOR THE EXISTING HOMES TO THE WEST.

PROXIMITY TO ADJACENT USES (SCREENING):

STANDARD: -SFA (DS-1D): EARTH BERMING (3'-6" MIN. HEIGHT) WITH A MAXIMUM SLOPE OF 4:1 WITH EVERGREEN AND DECIDUOUS TREES AND SHRUBS SHALL BE REQUIRED IN THE SETBACK AREAS ALONG PUBLIC STREETS AND BETWEEN DIFFERENT LAND USES INCLUDING OTHER TYPES OF RESIDENTIAL USE.

REQUEST: ALONG PUBLIC STREETS, UPLANDS REQUESTS NO BERMS TO PROMOTE A PEDESTRIAN FRIENDLY AND ACTIVATED STREETSCAPE. ALONG ADJACENT RESIDENTIAL LAND USES, UPLANDS REQUESTS THE EXISTING AND PROPOSED FENCING, TOPOGRAPHY AND LANDSCAPING BE USED TO PROVIDE TRANSITIONS.

JUSTIFICATION: THIS EXCEPTION REMOVES BERMS THAT WOULD OTHERWISE BLOCK THE PROPOSED HOMES FROM THE ADJACENT STREETS. THE PROPOSED ALLEY-LOADED HOME TYPE WITH FRONT DOORS AND PATIOS FRONTING THE STREET ENCOURAGES PEDESTRIAN ACTIVATION ALONG THE PERIMETER STREETS.

THE PROPOSED EXCEPTION PROMOTES ALTERNATIVE SOLUTIONS FOR TRANSITIONS TO ADJACENT EXISTING RESIDENTIAL LAND USES:

- SFD TO WEST: THE EXISTING NEIGHBORHOOD HAS A 6' SCREEN FENCE ALONG THE UPLANDS WEST PROPERTY LINE, PROVIDING SCREENING BETWEEN THE EXISTING AND PROPOSED HOMES. A SWALE IS PROPOSED ALONG THE WESTERN PROPERTY LINE, CAPTURING THE DRAINAGE FROM THE PROPOSED HOMES AND DIVERTING IT TO THE DETENTION POND, INSTEAD OF TO THE ADJACENT HOMES' YARDS. ADDING A BERM IN THIS LOCATION WOULD NEGATE THIS DRAINAGE IMPROVEMENT. LANDSCAPING IS PROPOSED ALONG THE WESTERN PROPERTY LINE TO PROVIDE ADDITIONAL SCREENING.

- MF TO NORTHEAST: A BERM EXISTS ALONG THE SHARED PROPERTY LINE BETWEEN THE EXISTING AND PROPOSED NEIGHBORHOODS. THIS TRANSITION IS ENHANCED THROUGH A 6' FENCE ALONG THE SHARED PROPERTY LINE ALONG WITH ENHANCED LANDSCAPE MATERIAL BETWEEN EXISTING AND PROPOSED HOMES.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES...AND OVERALL DESIGN' AND 'ENCOURAGE HIGHER QUALITY DEVELOPMENT' BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES INSTEAD OF THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT NEEDS TO BE SCREENED FROM ADJACENT STREETS. ADDITIONALLY, IT 'PERMITS THE DEVELOPER AN OPPORTUNITY TO MORE FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE THROUGH...THE ABSENCE OF SETBACK AND BULK RESTRICTIONS' BY ALLOWING THE EXISTING PHYSICAL CONDITIONS ALONG WITH IMPROVED DRAINAGE AND LANDSCAPE SOLUTIONS TO CREATE THESE TRANSITIONS.

LOT SIZE:

STANDARD: -SFA (DS-11C): FRONT AND SIDE (WHEN ABUTTING STREET) SETBACK - 25'; REAR SETBACK - 25'

-SFD (DS-10):FRONT AND SIDE (WHEN ABUTTING STREET) SETBACK FOR LIVING SPACE - 25'; FRONT PORCH SETBACK (NO LIVING SPACE PERMITTED ABOVE PORCH) - 14'; SIDE INTERNAL SETBACK - 10'; REAR GARAGE SETBACK - 20'; REAR SETBACK - 25'

REQUEST: UPLANDS REQUESTS THE FOLLOWING SETBACKS:

-SFA: FRONT SETBACK TO LIVING AREA - 12'; FRONT SETBACK TO PORCH - 8'; SIDE CORNER SETBACK - 12.5'; REAR SETBACK - 7'

-SFD: FRONT SETBACK TO LIVING AREA - 12'; FRONT SETBACK TO PORCH (NO LIVING SPACE PERMITTED ABOVE PORCH) - 8'; SIDE INTERNAL SETBACK - 7.5'; REAR SETBACK - 7'

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE NOTED INTERNAL ON-LOT BUILDING SETBACKS; ALL PERIMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD.

COMP PLAN: THIS EXCEPTION REQUEST ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY, PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION AND PRESERVING VIEW CORRIDORS. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERIMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. FINALLY, THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE, ALLOWING FOR PUBLIC LAND DEDICATION AND PRESERVING OF THE VIEW CORRIDOR LOCATION SOUTH OF BRADBURN. THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD THE PROPOSED HOMES AND ALLOW FOR LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES (9% PROVIDED - 4% IS REQUIRED AND ELECTIVE POINTS ARE GIVEN ONLY UP TO 6%). ADDITIONALLY, THE PROPOSED NEIGHBORHOOD PLAN STILL MEETS AND EXCEEDS LANDSCAPE AND PLAY REQUIREMENTS:

- LANDSCAPE AREA (40% REQUIRED, 48% PROVIDED)

- PRIVATE PARK AREA (4% REQUIRED; MORE THAN 9% PROVIDED)

- OPEN PLAY AREA (1% OF PRIVATE PARK REQUIRED, 3.3% OF PRIVATE PARK AREA PROVIDED)

- PLAYGROUND AREA (0.5% OF SITE REQUIRED, 1.1% OF PROVIDED)

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN' THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES). THE REDUCED SETBACKS 'ENCOURAGE HIGHER QUALITY DEVELOPMENT' BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THE REDUCED SETBACKS ALSO ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW 'MISSING MIDDLE' HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO 'INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE' AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 6 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
SUB-02: 04.13.23	SUB-03: 06.07.23

**6 OF 87
EXCEPTIONS**

DESIGN EXCEPTIONS

OFF-STREET PARKING SETBACKS:

STANDARD: -SFA (DS-11E): PARKING LOT SETBACK FROM INTERIOR PROPERTY LINES - 15'

REQUEST: UPLANDS REQUESTS A MINIMUM SETBACK BETWEEN SFA PROPERTY LINES AND PARKING LOTS OF 4'.

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE SMALL-GROUPED OFF-STREET GUEST PARKING SPACES SPRINKLED THROUGHOUT THE NEIGHBORHOOD. THE DESIGN STANDARD IS INTENDED TO PROVIDE LANDSCAPE BUFFERS FROM LARGER PARKING LOTS. THE PROPOSED PARKING SPACES ARE PURPOSEFULLY LOCATED NEAR THE PROPOSED HOMES TO BE EASILY ACCESSIBLE BY GUESTS. A TOTAL OF 18 OF THE PROPOSED SURFACE PARKING SPACES ARE LESS THAN 15' FROM THE PROPOSED SFA LOT LINES. 14 OF THESE 18 SPACES ARE ORIENTED AS PULL-IN SPACES DIRECTLY ADJACENT AND PARALLEL TO PROPOSED GARAGES (PARKING USE NEXT TO PARKING USE), NEGATING THE NEED TO BUFFER ONE USE FROM THE OTHER. ADDITIONALLY, THIS REQUEST IS MINIMIZED BY PROVIDING ADDITIONAL GUEST PARKING ALONG THE INTERNAL LOCAL STREETS.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY...OVERALL DESIGN' THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES. THE REDUCED SETBACKS 'ENCOURAGE HIGHER QUALITY DEVELOPMENT' BY PLACING PARKING OPTIONS OFF ALLEYS AND NEAR HOMES WHILE ACTIVATING THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

ROOF DESIGN:

STANDARD: -SFA (DS-1E): A ROOF PITCH OF 5 IN 12 OR GREATER SHALL BE PROVIDED ON ALL BUILDINGS.

REQUEST: UPLANDS REQUESTS A MINIMUM ROOF PITCH OF 4 IN 12 FOR THE MINOR ROOFS ON ALL SFA HOMES. 5 IN 12 MINIMUM PITCH WILL BE PROVIDED ON ALL MAIN ROOFS.

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE COVERED PORCH ROOF AND SHED ROOFS ON ALL SFA PAIRED HOMES. ALL COVERED PORCH ROOF PITCHES HAVE A 4 IN 12 PITCH ACCOMMODATE EGRESS WINDOW REQUIREMENTS ABOVE THE PORCH ROOF. THE SHED ROOFS (ONLY APPLY TO THE MID-CENTURY STYLE) ARE A LOWER PITCH TO FIT WITH THE MID-CENTURY ARCHITECTURAL STYLE. ALL MAJOR ROOFS ON THE UPPER FLOOR WILL BE 5 IN 12 MINIMUM.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY...OVERALL DESIGN' THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS AND, IN SOME CASES, MATCH THE MID-CENTURY STYLE OF ONE ELEVATION TYPE.

GARAGE SIZE:

STANDARD: -SFA (DS-2A) MINIMUM GARAGE DEPTH - 22', EXCLUDING ALL POSSIBLE AREAS OF STAIR LOCATIONS

-SFD (DS-3B) MINIMUM GARAGE DEPTH - 22', EXCLUDING ALL POSSIBLE AREAS OF STAIR LOCATIONS

REQUEST: UPLANDS REQUESTS A MINIMUM GARAGE DEPTH OF 22' TO INCLUDE ALL POSSIBLE AREAS OF STAIR LOCATIONS AND TRASH/RECYCLING BINS AND OTHER STORAGE FOR SFA AND SFD HOMES.

JUSTIFICATION: THIS EXCEPTION APPLIES TO HOW THE MINIMUM GARAGE DEPTH IS MEASURED FOR SFA AND SFD HOMES. WHILE PROPOSED GARAGE DEPTHS MEET THE 22' REQUIREMENT, 3' OF THE PROVIDED 22' OF DEPTH IS UTILIZED FOR STAIR ACCESS, FOR TRASH TO BE ENCLOSED WITHIN THE GARAGE AND FOR OTHER STORAGE. THIS LEAVES 19' OF CLEAR DEPTH FOR VEHICLES.

2017 HOUSING NEEDS ASSESSMENT: THE THOUGHTFULLY SIZED GARAGES ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO HOUSING. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW 'MISSING MIDDLE' HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO 'INCREASE THE

DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE' AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

LOT SIZE:

STANDARD: -SFD (DS-2C): OUTDOOR LIVING AREAS: USABLE FRONT PORCHES AND SIDE OR REAR YARD PATIOS SHALL BE REQUIRED ON A MINIMUM OF 50% OF THE APPROVED MODELS AND RESIDENCES BUILT.

REQUEST: UPLANDS PROVIDES USABLE FRONT PORCHES AND REQUESTS A COMBINATION OF FRONT PORCHES, OWNER'S DECKS AND SIDE DECKS BE USED TO MEET THE SIDE AND REAR PATIO REQUIREMENTS ON 100% OF SFD TUCKUNDER HOMES. A MINIMUM OF 400 CUMULATIVE SQUARE FEET OF USABLE AREA IS PROVIDED ON EACH LOT, UTILIZING THIS COMBINATION OF SPACES.

JUSTIFICATION: THIS EXCEPTION IS REQUESTED ON ALL PROPOSED SFD TUCKUNDER HOME TYPES; IT DOES NOT APPLY TO ANY OTHER HOME TYPE. THE TUCKUNDER HOMES ABSORB GRADE AND LIMIT THE AMOUNT OF RETAINING WALLS REQUIRED THROUGHOUT THE NEIGHBORHOOD. THE NATURE OF THIS HOME TYPE CREATES SIDE YARDS WITH LIMITED USABILITY. MULTIPLE LEVELS OF PORCHES AND DECKS TOTALING MORE THAN 400 SQUARE FEET ARE PLACED ON THE FRONT ELEVATION, WHICH PROVIDE ADDITIONAL PROJECTIONS AND RECESSES TO THE HOME AS WELL AS VIEWS TOWARD OPEN SPACE. IN ADDITION, UPLANDS IS PROVIDING THIS ALTERNATIVE ON 100% OF TUCKUNDER HOMES, INSTEAD OF THE 50% REQUIRED.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PERMITTING 'THE DEVELOPER AN OPPORTUNITY TO MORE FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE THROUGH...THE ABSENCE OF SETBACK AND BULK RESTRICTIONS'. THE EXISTING TOPOGRAPHY ON THE SITE CREATES GRADING CHALLENGES THAT ARE BEST SOLVED USING TUCKUNDER HOMES THAT CAN ABSORB GRADES. THE INTENT OF THE STANDARD - PROVIDING PRIVATE OUTDOOR SPACE FOR HOMES - IS MET BY PROVIDING ALTERNATIVE OUTDOOR SPACES, WHILE BEST WORKING WITH THE EXISTING GRADES.

EXTERIOR DESIGN ELEMENTS:

STANDARD: -SFD (DS-2D): WINDOWS OF A MINIMUM WIDTH OF 5' THAT PROJECT A MINIMUM OF 16 INCHES FROM THE FRONT FAÇADE SHALL BE REQUIRED ON 50% OR MORE OF ALL UNITS WITHIN A STREETScape.

REQUEST: UPLANDS REQUESTS NO BAY OR BOX WINDOWS BE REQUIRED. INSTEAD, MULTIPLE PLANE BREAKS AND GABLE END TREATMENTS ARE PROVIDED.

JUSTIFICATION: IN KEEPING WITH CURRENT DESIGN TRENDS, A VARIETY OF ROOF AND WALL PLANE BREAKS AND MULTIPLE MATERIALS ARE INCLUDED ON ALL FRONT ELEVATIONS. IN ADDITION TO THE WALL PLANE BREAKS, FRONT PORCHES AND DECKS CONTRIBUTE TO ADDITIONAL PLANE RELIEF ON THE FRONT ELEVATIONS. EACH HOME INCLUDES EXTERIOR MATERIALS SUCH AS SIDING, TEXTURED PANEL BOARD, TRIM, AND MASONRY. GABLE END TREATMENTS OF TEXTURED PANEL BOARD, BRACKETS, CORBELS AND NARROW LAP SIDING ARE PROVIDED AT ALL GABLES. THESE DESIGN TRENDS CREATE MORE DYNAMIC ARCHITECTURE AND STREETScape SOLUTIONS THAN WHAT A BAY OR BOX WINDOW WOULD ACHIEVE. ADDITIONALLY, VARYING THE OVERALL MASSING OF EACH HOME CREATES A MORE INTRIGUING STREETScape THAN A MONOTONOUS BAY OR BOX WINDOW. ADDITIONALLY, UPLANDS EXCEEDS THE MAXIMUM POINT THRESHOLD FOR ALLEY-LOADED GARAGES. POINTS ARE AWARDED FOR PROVIDING ALLEY-LOADED GARAGES ON 75% OF HOMES; UPLANDS IS PROVIDING ALLEY-LOADED GARAGES ON 100% OF HOMES.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY...OVERALL DESIGN' BY USING DIFFERENT DESIGN TECHNIQUES (VARIATION IN ROOF AND WALL PLANE BREAKS, MULTIPLE MATERIALS, PORCHES, DECKS AND GABLE END TREATMENTS) TO MEET THE INTENT OF THE DESIGN STANDARD (CREATE DIVERSITY ALONG THE STREETScape).

EXTERIOR BUILDING MATERIALS:

STANDARD: -SFD (DS-4B): ALL SECOND-STORY (OR FIRST-STORY WALKOUT) DECKS SHALL INCLUDE BRICK OR STONE WRAPPED COLUMNS WHEN ABUTTING STREETS, OPEN SPACE, TRAILS AND PARKS.

REQUEST: UPLANDS REQUESTS A VARIETY OF DECK COLUMNS APPROPRIATE TO THE DESIGN OF EACH FRONT ELEVATION BE DESIGNED ON ALL TUCKUNDER SFD HOMES.

JUSTIFICATION: THIS EXCEPTION IS REQUESTED ON ALL SFD TUCKUNDER HOMES TO ENSURE THAT DECK COLUMNS ARE DESIGNED TO REFLECT THE ARCHITECTURAL STYLE OF THE HOMES. DUE TO THE ALLEY-LOADED CONFIGURATION OF THE LOTS AND LIMITED USABILITY OF THE SIDE YARDS (DUE TO GRADING), MOST OUTDOOR LIVING WILL BE PLACED ON THE FRONT ELEVATION WITH COLUMNS SIZED APPROPRIATELY PER ELEVATION STYLE. COLUMN SIZES WILL BE KEPT TO A MINIMUM TO MAXIMIZE THE SIZE OF OUTDOOR LIVING AREAS COLUMNS WILL RANGE IN SIZE FROM 8" TO 24" WIDE AND WILL CONSIST OF MULTIPLE MATERIALS, INCLUDING WRAPPED PANEL SIZING, TRIM, CORBELS AND MASONRY. DIFFERING COLUMN DESIGNS WILL HELP ACHIEVE A VARIETY OF DISTINCT ENTRY TREATMENTS TO THE ELEVATIONS.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY...OVERALL DESIGN' BY USING A VARIETY OF MATERIALS AND COLUMN SIZES TO REFLECT THE ARCHITECTURAL STYLE OF THE HOMES. THIS MEETS THE INTENT OF THE DESIGN STANDARD WHILE PROVIDING ADDITIONAL ARCHITECTURAL DIVERSITY ALONG THE STREETScape.

EXTERIOR BUILDING MATERIALS AND COLORS:

STANDARD: -SFA (DS-5A): THIRTY PERCENT (30%) OR MORE OF ALL NON-WINDOW/DOOR SURFACES ON ALL SIDES OF ALL PRIMARY AND ACCESSORY BUILDINGS SHALL BE FINISHED WITH MASONRY (BRICK OR STONE).

REQUEST: REQUIRE AN AVERAGE OF 30% MINIMUM MASONRY MEASURED ACROSS ALL SFA ELEVATIONS (OF ALL NON-WINDOW/DOOR SURFACES), IN LIEU OF A 30% PER ELEVATION MEASUREMENT.

JUSTIFICATION: THIS EXCEPTION ALLOWS UPLANDS TO APPLY MASONRY WHERE IT IS THE MOST IMPACTFUL, ESPECIALLY THE FRONT OF THE HOME. ALL SFA FRONT ELEVATIONS HAVE AT LEAST 49% MASONRY ON THE NON-DOOR AND WINDOW SURFACES. THE FRONT ELEVATIONS FACE HIGHLY VISIBLE CORRIDORS INCLUDING OPEN SPACE, PARKS AND PUBLIC ROADS. WHILE STILL PROVIDING THE SAME MASONRY PERCENTAGE OVERALL, THIS EXCEPTION ENHANCES STREETScape FACADES WITH NO INCREASE TO OVERALL HOME COST.

WMC: THIS EXCEPTION REQUEST ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN' BY USING HIGH-QUALITY MATERIALS IN A MANNER THAT EMPHASIZES THE HIGHLY VISIBLE FACADES. THIS MEETS THE INTENT OF THE DESIGN STANDARD WHILE PROVIDING ADDITIONAL ARCHITECTURAL DIVERSITY AND HIGHER QUALITY MATERIALS ALONG THE STREETScape.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 7 OF 87



CODE REFERENCES HAVE BEEN DERIVED FROM THE STRUCTURE OF THE WESTMINSTER SFA/SFD DESIGN GUIDELINES. CODE REFERENCE CALLOUTS ARE PROVIDED ON THE ODP PAGE NUMBERS LISTED.

DESIGN ELECTIVES

SITE DESIGN - SINGLE FAMILY ATTACHED DESIGN ELECTIVES			
CODE REFERENCE	INCENTIVE	SCORE	ODP PAGE NUMBER
SITE DESIGN - SINGLE FAMILY ATTACHED			
5. Access Circulation, and Parking			
EA-S5A2	(2) Provide concrete bicycle and pedestrian connections between neighborhoods and subdivisions. Path(s) must meet minimum sidewalk widths per City Standards and Specifications for Public Improvements at the time of ODP approval. 50 points for each connection; maximum 200 points.	150	Sheet 16-19
(B) Right-of-Way			
EA-S5B	Additional arterial or collector street right-of-way (beyond amt. req.) will be provided for berming and additional landscape area (this may be proposed for one side of the street or split equally on each side): 100 points per additional three feet added to right-of-way section along the entire street frontage (500 max. points)	100	Sheet 14
C) Pedestrian / Bicycle Paths			
EA-S5C1	(1) Internal site sidewalks will be detached by a minimum width of 5 feet: 100 points	100	Sheet 14
EA-S5C4	(4) Benches will be provided along pedestrian pathways throughout the project: 25 points	25	Sheet 16-19, 36-41
EA-S5C5	(5) Bicycle repair stations will be provided as an amenity on residential development: 50 points	50	Sheet 16-19, 36, 37
(D) Parking			
EA-S5D1	(1) At least 50% of the required parking (other than guest parking) shall be within attached garages: 350 points	350	Sheet 2
8. Site Amenities			
(A) Entrance Features			
EA-S8A	Evergreen trees will be planted behind the entry monument sign: 75 points	75	Sheet 38
(C) Recreation			
EA-S8C4	(4) Sand volleyball courts (30' X 60' min.) or similar recreational amenity of generally equivalent area will be provided: 50 points per court (100 points maximum)	100	Sheet 17
EA-S8C5	(5) Active play area covered by a shade structure with play and/or children's climbing equipment, etc. (0.5% minimum of site area) will be provided. (This cannot be located in any detention area). Play equipment must encompass at least 625 S.F. (25' x 25') for each of these areas: 150 points for each area provided	300	Sheet 39
10. Private Open Space and Private Parks			
EA-S10C	(C) Greater than 6%: 400 points	400	Sheet 37, 39
ARCHITECTURAL DESIGN - SINGLE FAMILY ATTACHED			
1. Exterior Design Elements			
EA-A1A4	(4) A covered and lighted structure will be provided over external mailbox units for the project or internal mailbox units will be provided. If an external structure is provided, the materials, colors, and style will match the primary buildings: 150 points	150	Sheet 51
EA-A1A5	(5) Buildings will include no more than six (6) adjacent units: 200 points	200	Sheet 52, 56, 60

(B) Building Height			
2. Garages			
EA-A2A	(A) Private patios (120 S.F. minimum usable, functional area) and balconies (80 S.F. minimum usable, functional area with six-foot minimum depth) will be provided on 100% of all units: 150 points	150	Sheet 52, 56, 60
EA-A2B3	(B) Usable front porches (unobstructed 80 S.F. minimum with six-foot minimum depth) will be provided on: (Choose only one from below if applicable): (3) 100% of all units: 250 points	250	Sheet 52, 56, 60
LANDSCAPE DESIGN - SINGLE FAMILY ATTACHED			
1. Private Landscaping			
(A) Common Areas			
EA-LA1	Private landscaped area will be increased above the minimum 40% requirement (choose only one from below if applicable): (1) Greater than 40% to 45%: 200 points	200	Sheet 31
(C) Landscaped Islands / Medians			
EA-LC	Perennials and/or annual beds will be incorporated into the entry feature: 50 points	50	Sheet 38
ENVIRONMENTAL DESIGN - SINGLE FAMILY ATTACHED			
1. Landscaping and Water Conservation			
(C) Water Conservation			
EA-E1C2	(2) High water turf area (such as Kentucky Bluegrass and Tall Fescue) will be reduced to less than 20% of landscaped area to reduce water consumption: 125 points	125	Sheet 31
(D) Site Design and Stormwater Quality			
EA-E1D2	(2) Vegetative swale or bio-retention area of 20% of total detention square feet: 150 points	150	Sheet 21-24
2. Building Construction			
(A) Pro-active Solar Construction			
EA-E2A2	(2) Electric vehicle charging stations installed for a minimum 10% of the housing units, plus pre-wiring in all garages and parking structures to allow for additional future stations installed: 250 points	250	Refer to PDP
(D) Community Facilities			
EA-E2D1	(1) Install solar photovoltaic systems (minimum 3 kw system) on the clubhouse, meeting, and recreational facility buildings: 300 points	300	Refer to PDP
EA-E2D3	(3) Mail will incorporate a minimum of 2000 square feet of private park space and two dedicated temporary parking spaces: 100 points	100	Sheet 36-37
(Minimum 3,358 SFA Points Required)		3575	

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

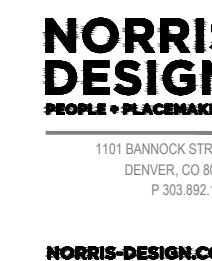
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 8 OF 87



CODE REFERENCES HAVE BEEN DERIVED FROM THE STRUCTURE OF THE WESTMINSTER SFA/SFD DESIGN GUIDELINES. CODE REFERENCE CALLOUTS ARE PROVIDED ON THE ODP PAGE NUMBERS LISTED.

DESIGN ELECTIVES

SITE DESIGN - SINGLE FAMILY DETACHED DESIGN ELECTIVES			
CODE REFERENCE	INCENTIVE	SCORE	ODP PAGE NUMBER
SITE DESIGN - SINGLE FAMILY DETACHED			
5. Access Circulation, and Parking			
ED-S5B1	(1) Internal site sidewalks will be detached by a minimum width of 6 feet; or when adjacent to parking spaces, they shall be a minimum width of 8 feet: 50 points	50	Sheet 14
ED-S5B2	(2) Benches will be provided along pedestrian and multi-use pathways throughout the project: 25 points	25	Sheet 16-19, 36-40
ED-S5B3	(3) Bicycle repair stations may be provided as an amenity on residential development: 25 points each; maximum 50 points.	50	Sheet 16-19, 36, 37
7. Right-of-Way Dedication			
ED-S7A	(A) Additional arterial or collector street right-of-way (beyond amount required) will be provided for berming and additional landscape area along entire length of street: 50 points per additional 3' strip added to right-of-way section (200 max. points)	50	Sheet 14
13. Private Open Space and Private Parks			
ED-S13E	(E) Greater than 6%: 400 points	400	Sheet 37, 39
14. Recreation Facilities			
ED-S14D	(D) A clubhouse with year round open restrooms and hot tub will be provided for developments of less than 200 units (alternative to 1st two electives [A & B] above): 200 points	200	Refer to PDP
ED-S14G	(G) Play equipment areas with swings, slide, or climbing equipment, etc. or outdoor gathering areas with seating (0.5% minimum of site area) will be provided. Areas must be covered by shade structure(s) and must encompass at least 625 s.f. (25' x 25') for each of these areas: 150 points for each area provided (300 max. points)	300	Sheet 39
ED-S14H	(H) Weather protected (covered) bicycle parking racks: 50 points per rack, up to 150 total points.	150	Sheet 16-19, 36, 37
ARCHITECTURAL DESIGN - SINGLE FAMILY DETACHED			
2. Exterior Design Elements			
(B) Roof Breaks			
ED-A2B	Roof breaks will occur on all approved models: 50 points	50	Sheet 66-68, 71-73, 76-78, 81-83
3. Garages			
(C) Garage door – minimum dimensions:			
ED-A3B	(B) Garage door windows will be incorporated in the design of 50% of the models and residences built, and the window design will complement the style of the house windows: 75 points	75	Sheet 66-68, 71-73, 76-78, 81-83
ED-A3C3	(3) Side- or rear-loaded garages will occur on at least 75% of the models and residences built: 500 points	500	Sheet 66-68, 71-73, 76-78, 81-83

LANDSCAPE DESIGN - SINGLE FAMILY DETACHED			
1. Right-of-Way Landscaping			
ED-L1A	(A) A minimum of one (1) shade tree per 500 square feet of landscaped area is provided within the right-of-way: 100 points	100	Sheet 36-38, 40-41
ED-L1B	(B) Street trees (deciduous, shade trees with 40-foot max. spacing) will be planted in the landscape area between the curb and the sidewalk along a min. of 75% of the local street lengths on both sides of the local streets: 350 points	350	Sheet 36-38, 40-41
ENVIRONMENTAL DESIGN - SINGLE FAMILY DETACHED			
1. Landscaping and Water Conservation			
(C) Water Conservation			
ED-E1C2	(2) High water turf area (such as Kentucky Bluegrass and Tall Fescue) will be reduced to less than 20% of landscaped area to reduce water consumption: 125 points	125	Sheet 32
(D) Site Design and Stormwater Quality			
ED-E1D2	(2) Vegetative swale or bio-retention area of 20% of total detention square feet: 150 points	150	Sheet 21-24
2. Building Construction			
(B) Dwelling Unit Energy Efficiency			
ED-E2B2	(2) Electric vehicle charging stations installed for a minimum 10% of the housing units, plus pre-wiring in all garages and parking structures to allow for additional future stations installed: 250 points	250	Refer to PDP
(D) Community Facilities			
ED-E2D1	(1) Install solar photovoltaic systems (minimum 3 kw system) on the clubhouse, meeting, and recreational facility buildings: 300 points	300	Refer to PDP
ED-E2D3	(3) Mail will incorporate a minimum of 2000 square feet of private park space and two dedicated temporary parking spaces: 100 points	100	Sheet 36-37
(Minimum 3,218 SFD Points Required)		3225	

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

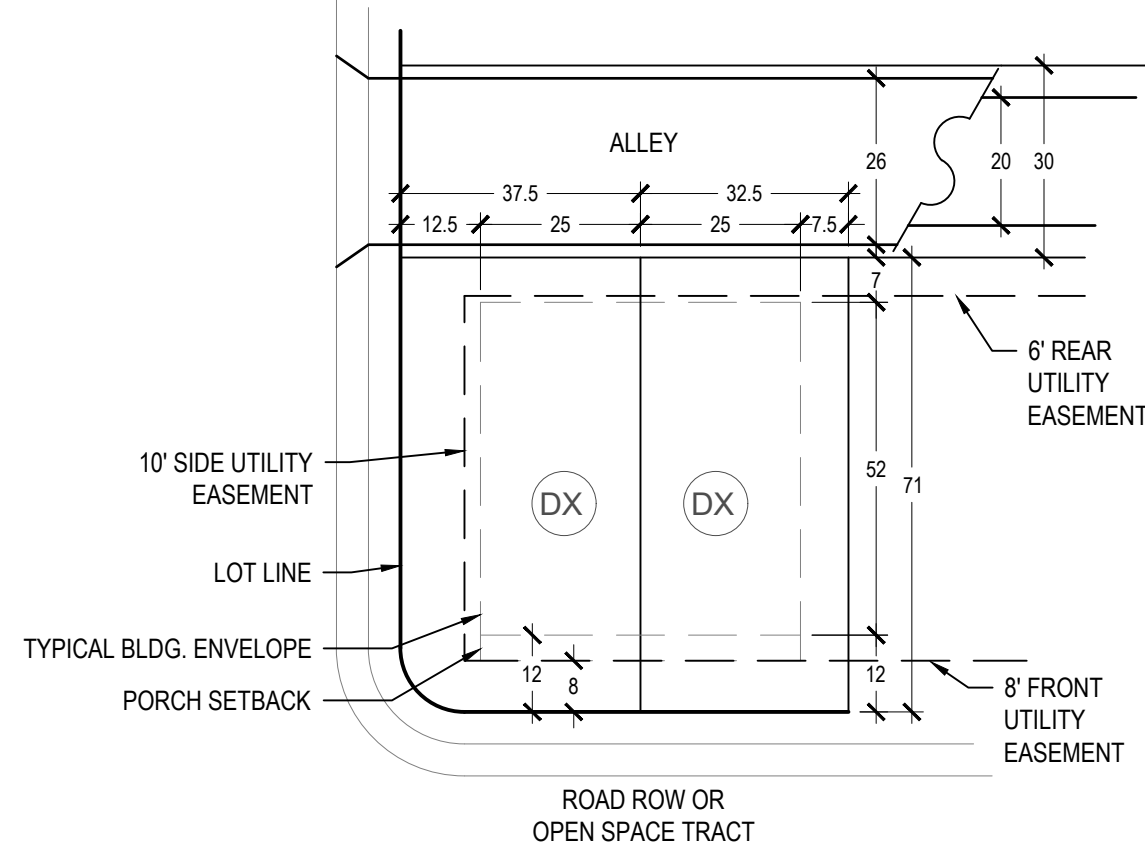
OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 9 OF 87

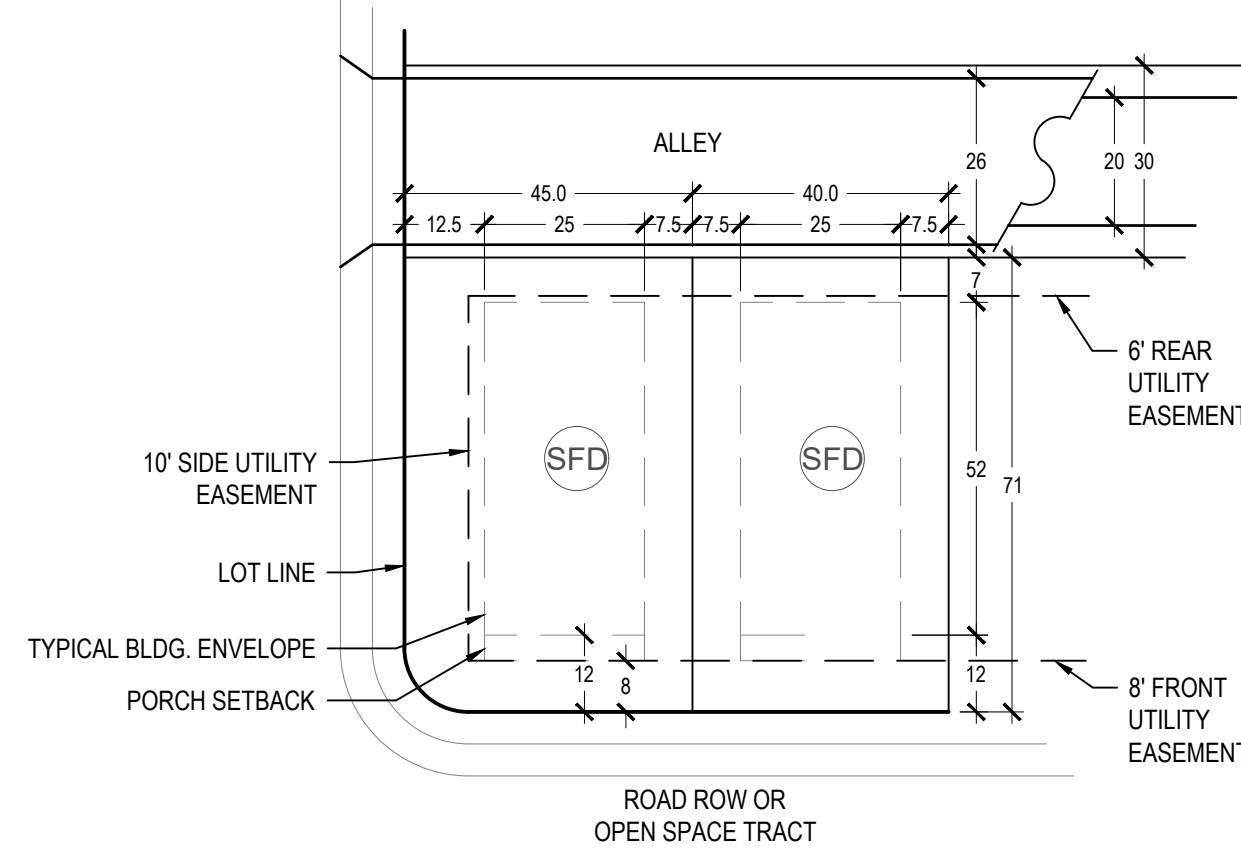


LOT TYPICALS

SINGLE FAMILY ATTACHED - PAIRED HOME
 (32.5' X 71' TYPICAL LOT / 37.5' X 71' TYPICAL CORNER LOT)
 (25' X 56' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE FAMILY DETACHED HOME
 (40' X 71' TYPICAL LOT / 45' X 71' TYPICAL CORNER LOT)
 (25' X 56' MAX. BUILDING ENVELOPE INCLUDING PORCH)



REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.

REFER TO LANDSCAPE LOT TYPICALS FOR FENCE & WATER METER LOCATIONS.

LOT SETBACKS

	SFA (PAIRED) DESIGN STANDARDS REQUIRED MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	25'	12'
FRONT TO PORCH:		8'
SIDE (INTERNAL)	7.5'	7.5'
SIDE (CORNER)	25'	12.5'
SIDE (ABUTTING LOCAL STREET)		
REAR:	25'	7'

	SFD DESIGN STANDARDS REQUIRED MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	25'	12'
FRONT TO PORCH:	14'	8'
SIDE (INTERNAL)	10'	7.5'
SIDE (CORNER)		12.5'
SIDE (ABUTTING LOCAL STREET)		
REAR:	25'	7'

MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

HOMEOWNER MAINTENANCE:

- DRIVEWAYS
- PORCHES, PATIOS & STEPS (INCLUDING SNOW REMOVAL)
- ON-LOT LEADER WALK TO COMMON SIDEWALK (INCLUDING SNOW REMOVAL)
- ON-LOT FENCES (SFD ONLY)
- ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
- SIDE YARDS INSIDE PRIVATE FENCED AREA

HOA MAINTENANCE:

- ALLEYS (INCLUDING SNOW REMOVAL)
- COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS) (INCLUDING SNOW REMOVAL)
- ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
- HOA-OWNED LANDSCAPE TRACTS/OUTLOTS
- DETENTION POND
- FENCING (INCLUDING ON-LOT FOR SFA ONLY)
- ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
- TREE LAWNS
- TRASH PICK-UP

NOTES

- (1) REFER TO SHEETS 5-6 FOR PROPOSED DESIGN STANDARD EXCEPTION JUSTIFICATIONS.
- (2) SETBACKS SHALL BE MEASURED FROM LOT LINE TO BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- (3) CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW WELLS, OVERHANGS, OR SIMILAR ARCHITECTURE FEATURES MAY ENCROACH INTO A SETBACK A MAXIMUM OF 2 FT.

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

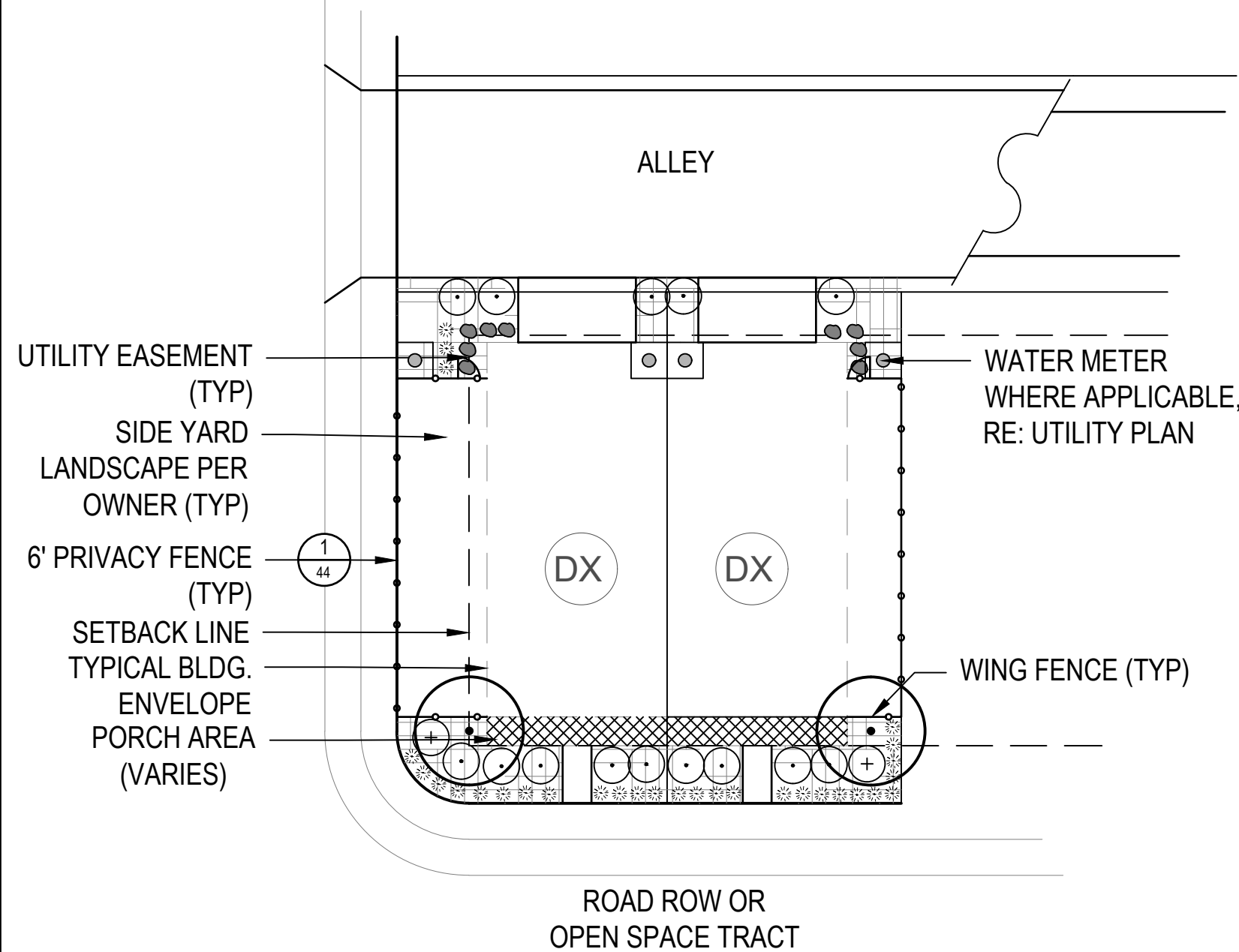
SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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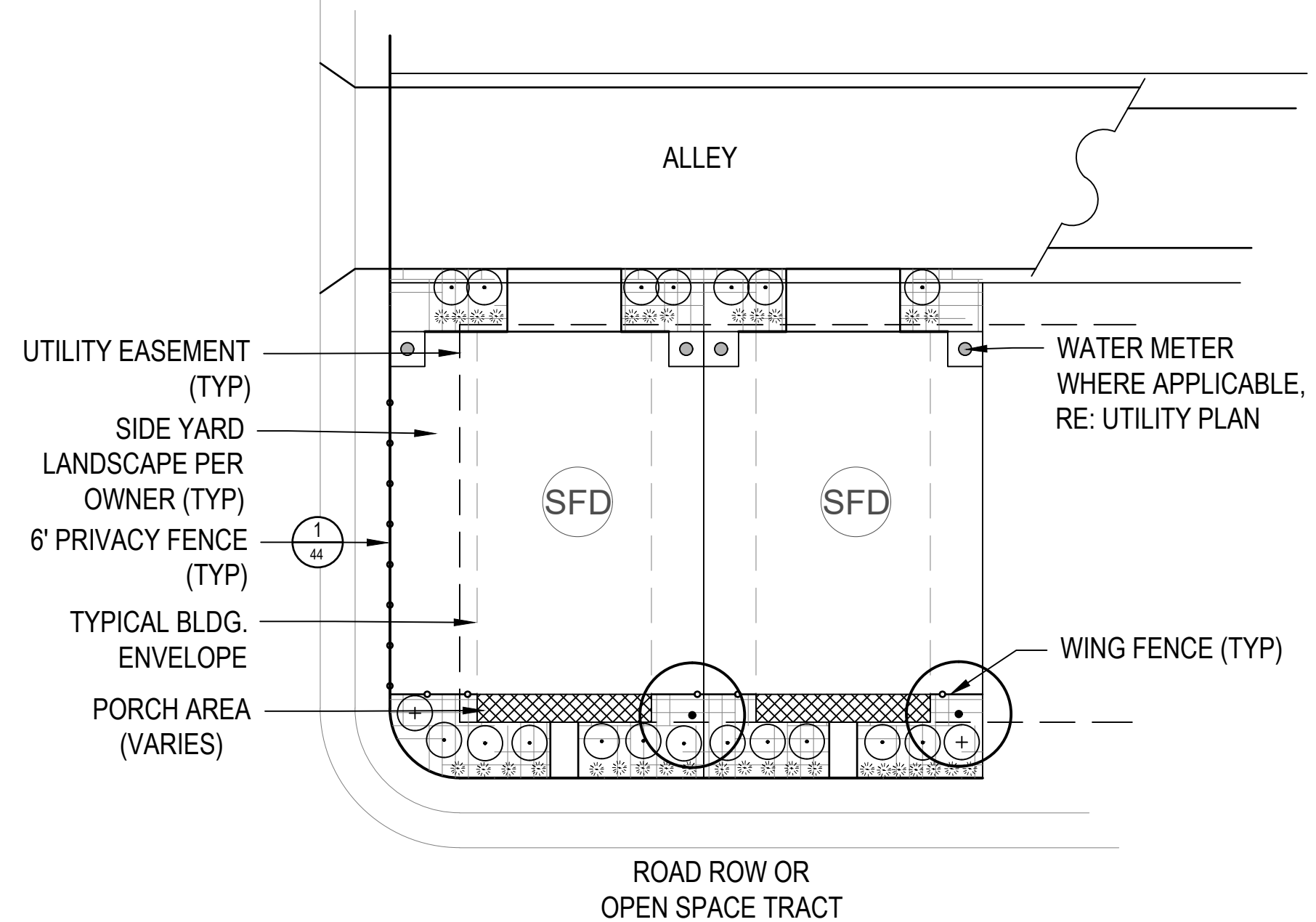
NORRIS DESIGN
 PEOPLE + PLACEMAKING
 1101 BANNOCK STREET
 DENVER, CO 80204
 P. 303.892.1166
 NORRIS-DESIGN.COM

LANDSCAPE LOT TYPICALS

SINGLE FAMILY ATTACHED - PAIRED HOME
 (32.5' X 71' TYPICAL LOT / 37.5' X 71' TYPICAL CORNER LOT)
 (25' X 56' MAX. BUILDING ENVELOPE INCLUDING PORCH)

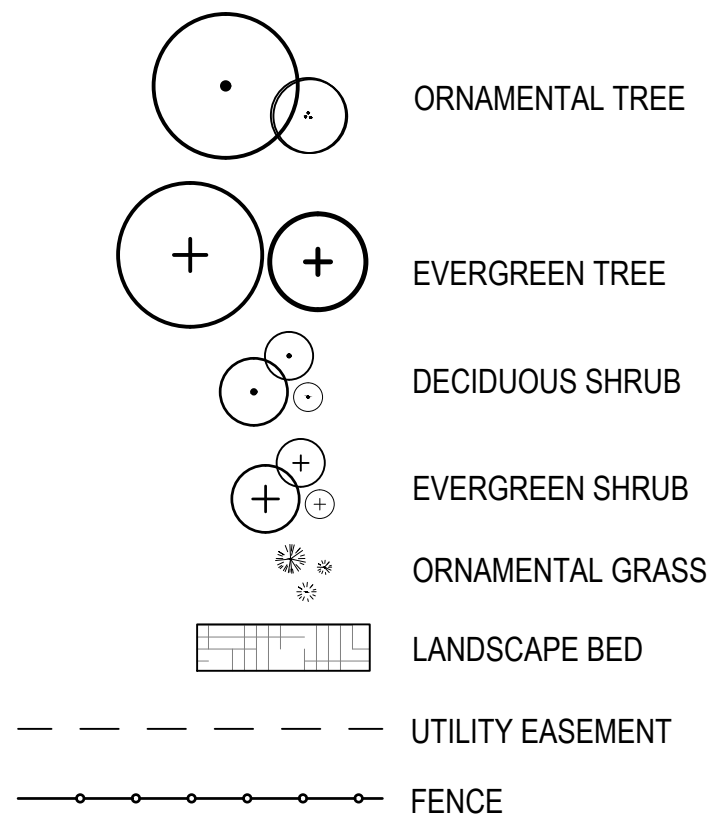


SINGLE FAMILY DETACHED HOME
 (40' X 71' TYPICAL LOT / 45' X 71' TYPICAL CORNER LOT)
 (25' X 56' MAX. BUILDING ENVELOPE INCLUDING PORCH)



REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.

LEGEND



MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

HOMEOWNER MAINTENANCE:

- DRIVEWAYS
- PORCHES, PATIOS & STEPS (INCLUDING SNOW REMOVAL)
- ON-LOT LEADER WALK TO COMMON SIDEWALK (INCLUDING SNOW REMOVAL)
- ON-LOT FENCES (SFD ONLY)
- ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
- SIDE YARDS INSIDE PRIVATE FENCED AREA

HOA MAINTENANCE:

- ALLEYS (INCLUDING SNOW REMOVAL)
- COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS) (INCLUDING SNOW REMOVAL)
- ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
- HOA-OWNED LANDSCAPE TRACTS/OUTLOTS
- DETENTION POND
- FENCING (INCLUDING ON-LOT FOR SFA ONLY)
- ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
- TREE LAWNS
- TRASH PICK-UP

NOTE: FENCE TO BE LOCATED 5' MIN. FROM WATER METER, TYP. ALL LOCATIONS.

UPLANDS

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UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

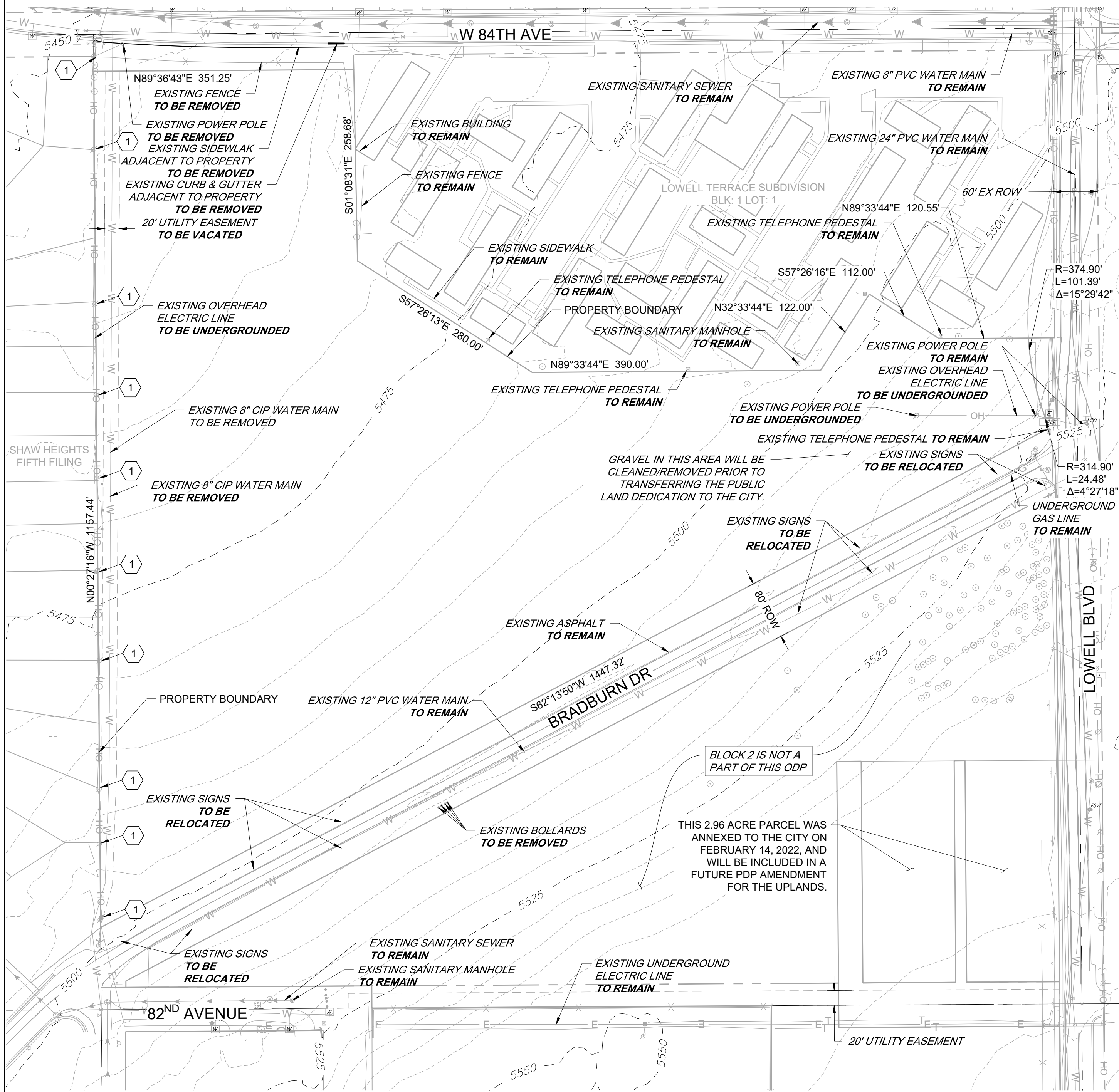
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REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
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A PLANNED UNIT DEVELOPMENT
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SHEET 11 OF 87



LEGEND

- 100- EXISTING MAJOR CONTOUR
- 100- EXISTING MINOR CONTOUR
- 1 EXISTING POWER POLE TO BE REMOVED AND REPLACED WITH A SHORTER POLE. CONTRACTOR TO MAINTAIN EXISTING SERVICES FOR THE SHAW HEIGHTS NEIGHBORS.

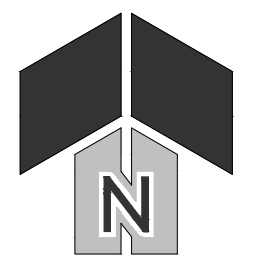
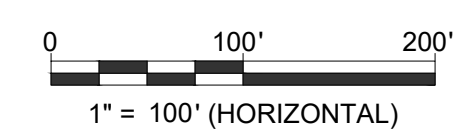
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OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023
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SUB-02: 04.13.23
SUB-03: 06.07.23



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UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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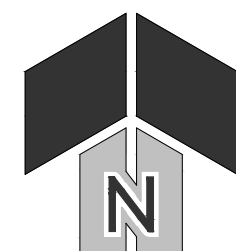
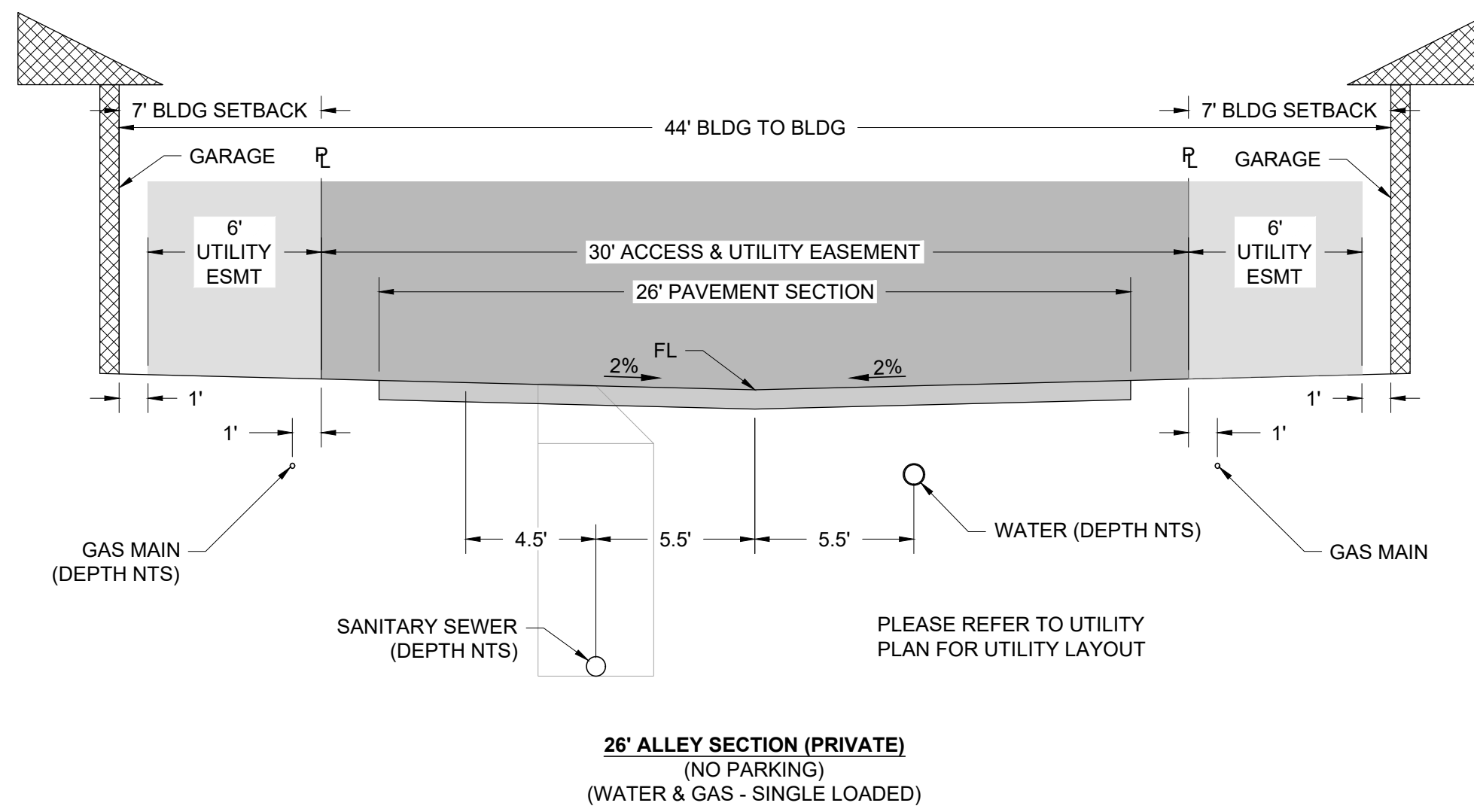
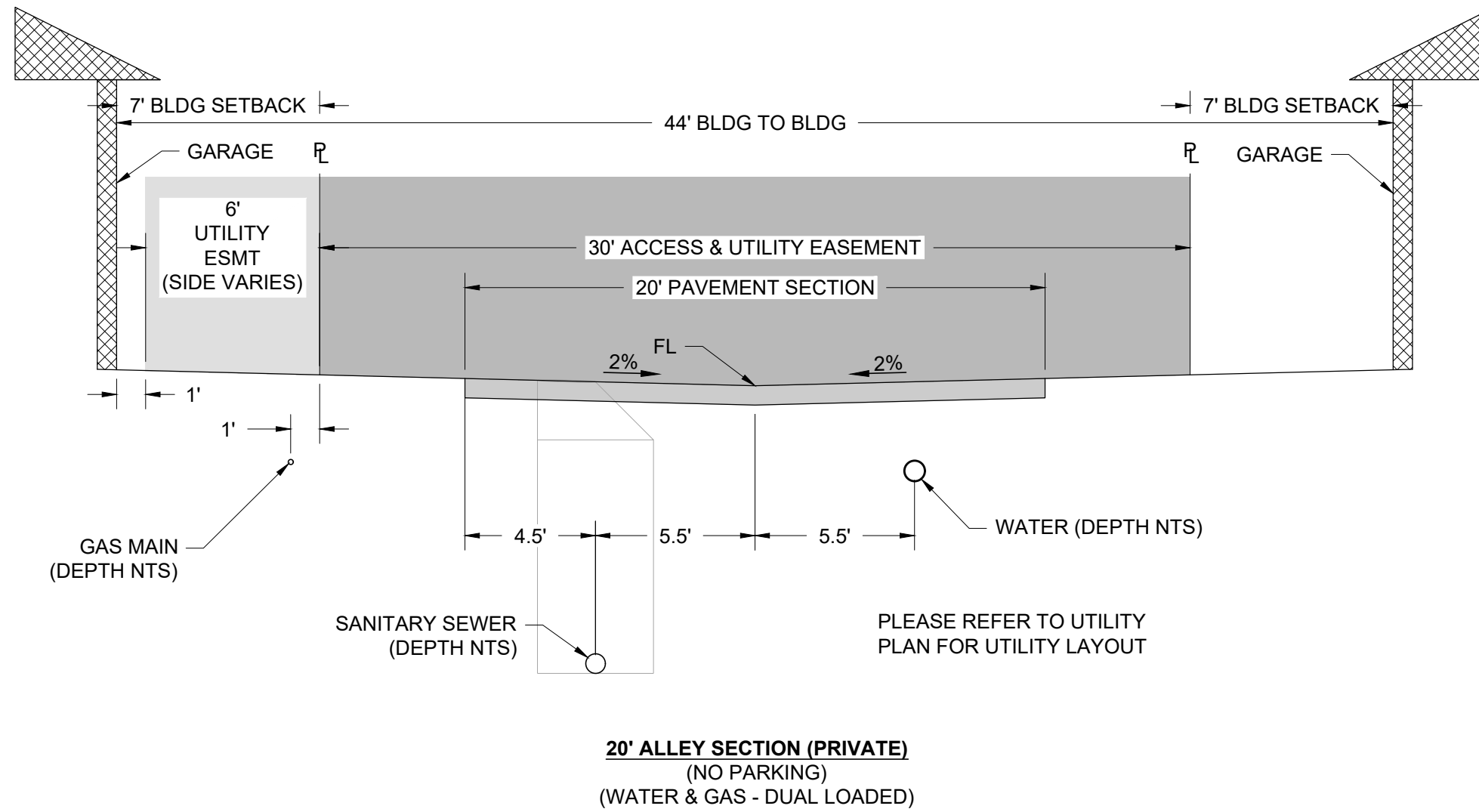


UPLANDS

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OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



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UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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UPLANDS

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**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

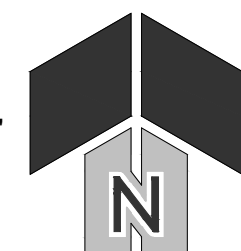
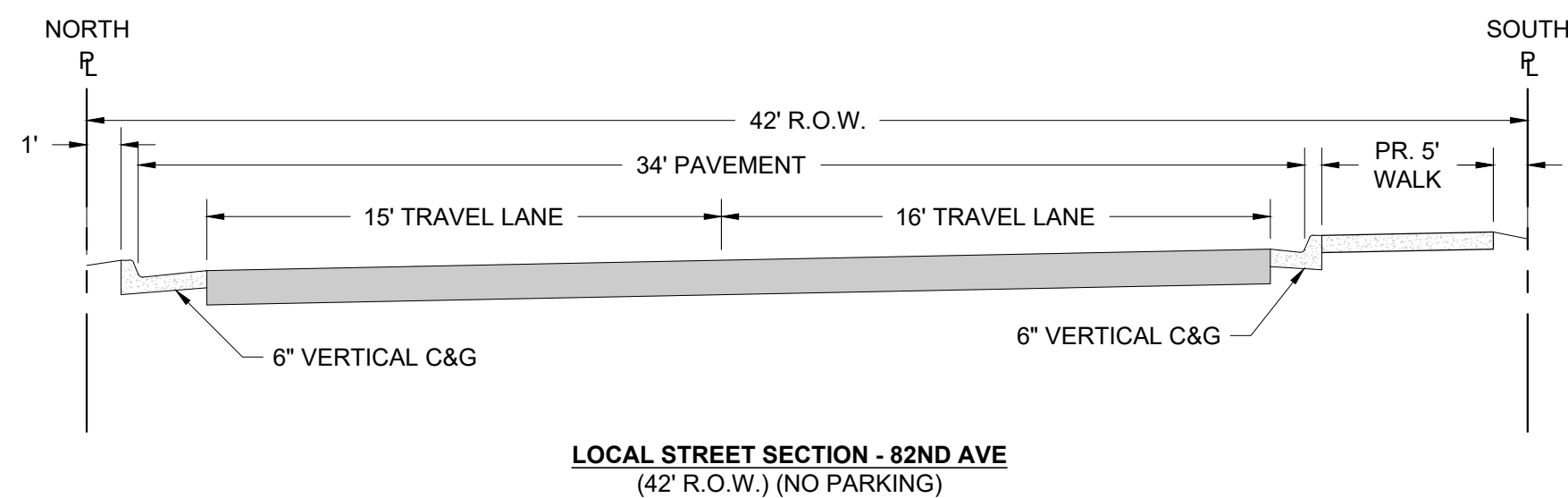
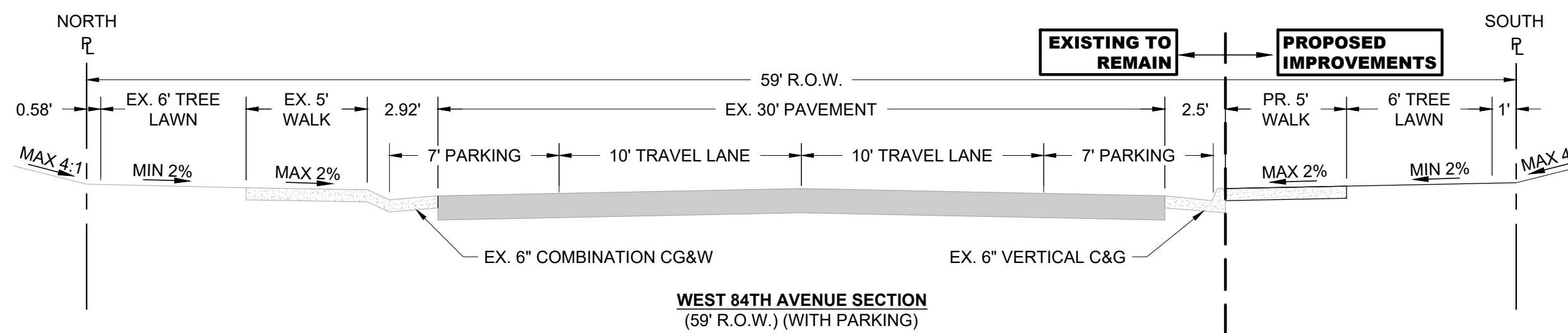
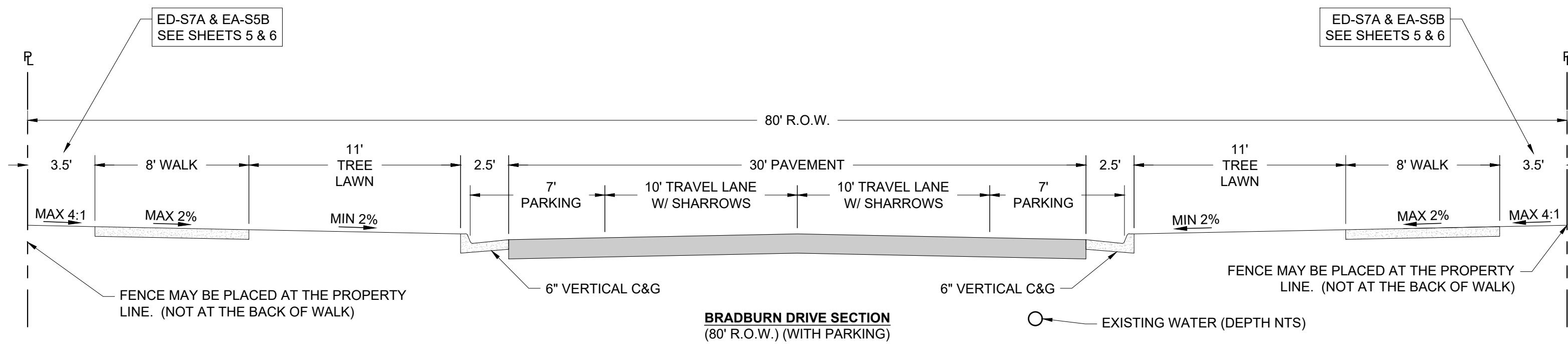
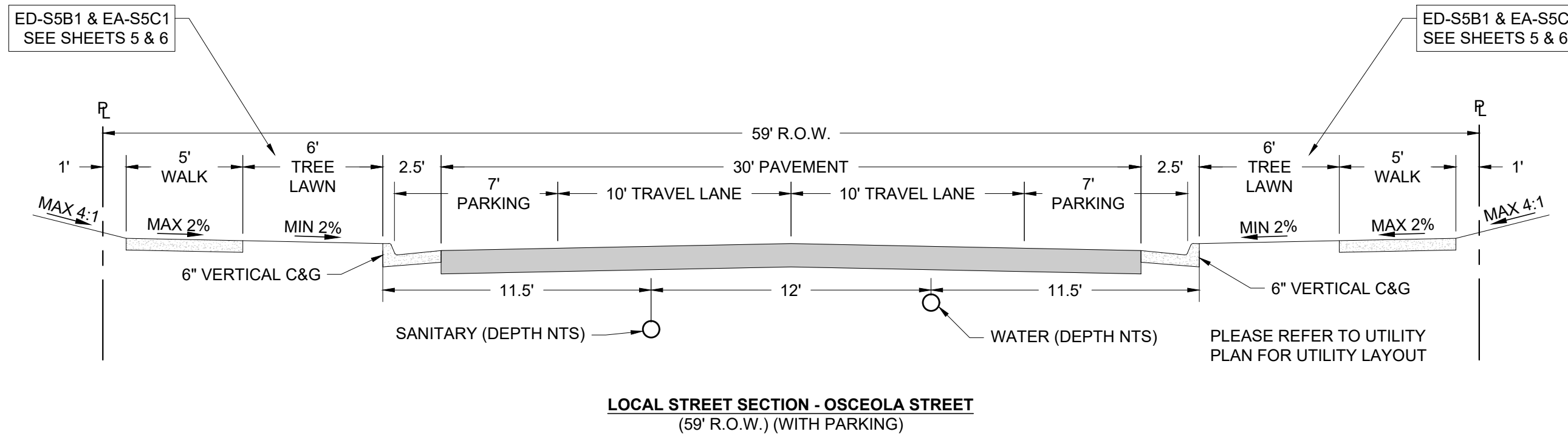
OFFICIAL DEVELOPMENT PLAN
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SUB-02: 04.13.23

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 TYPICAL SECTIONS
 (STREETS)



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A PLANNED UNIT DEVELOPMENT
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WESTMINSTER, COLORADO

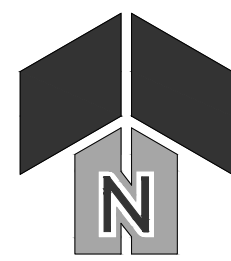
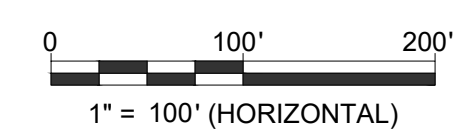
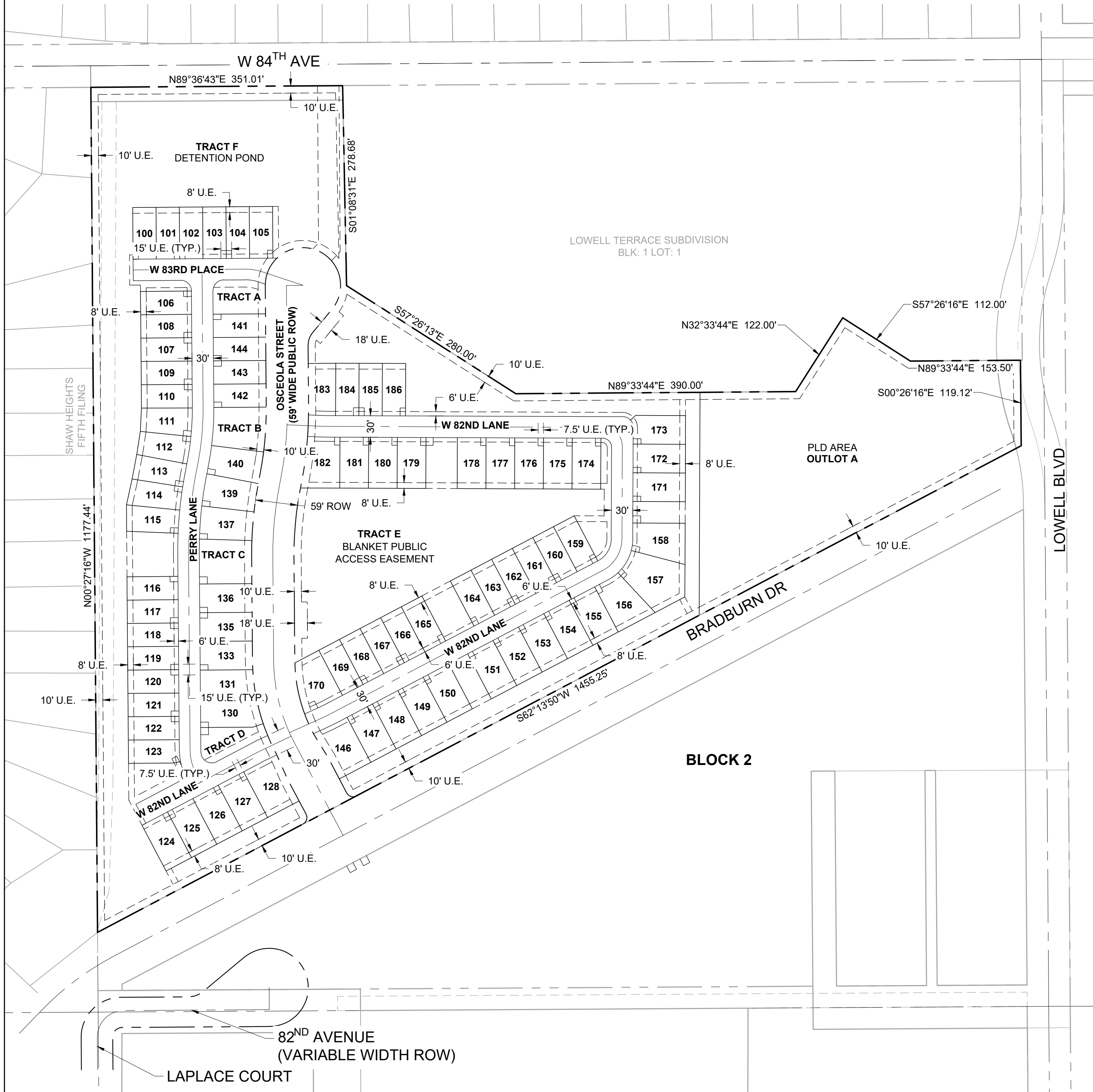
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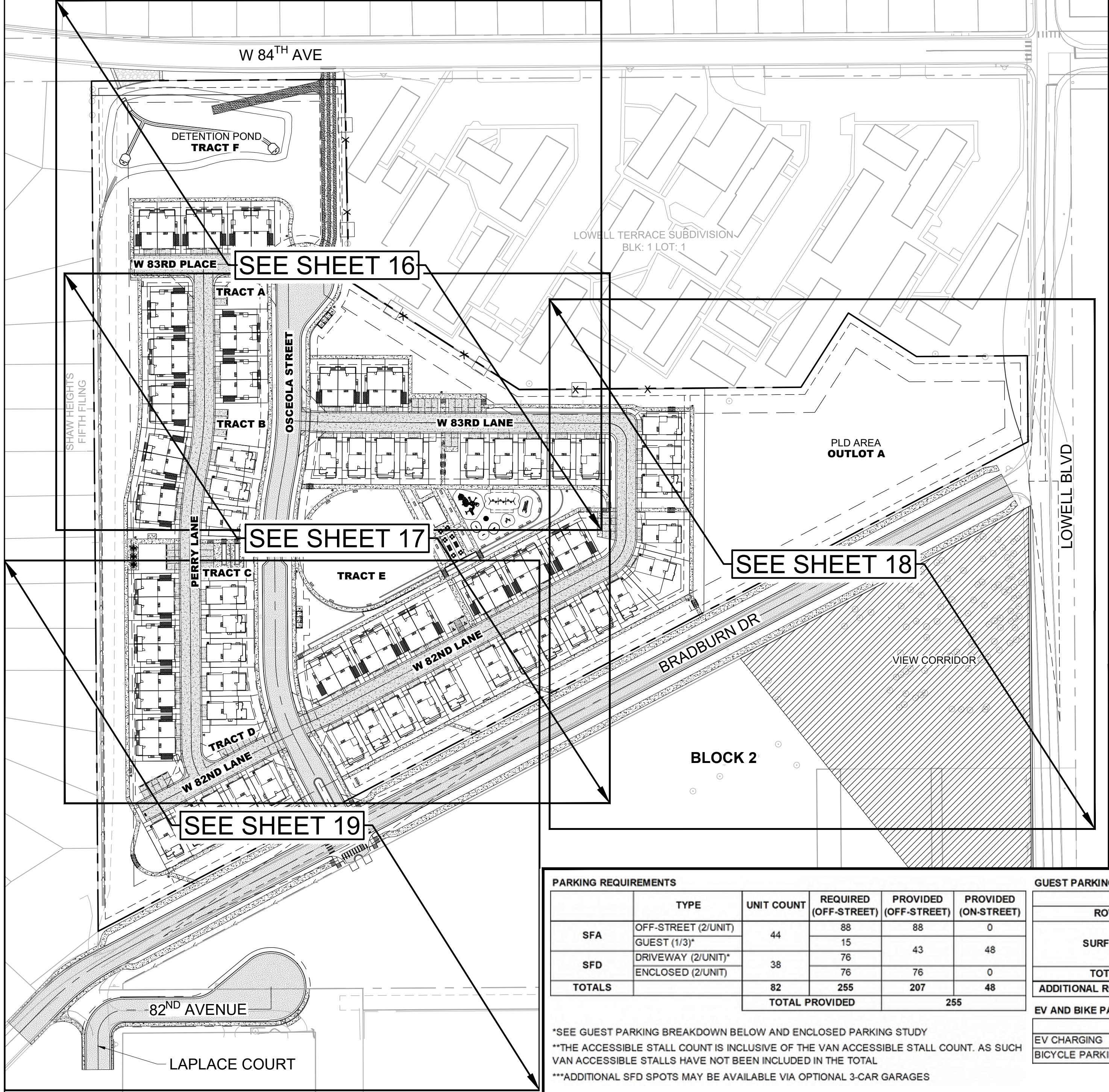
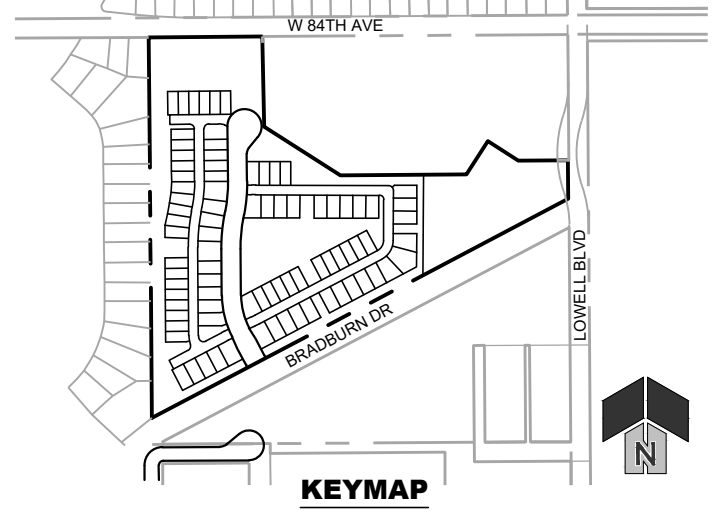
SUB-02: 04.13.23

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OVERALL PLAN



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 15 OF 87

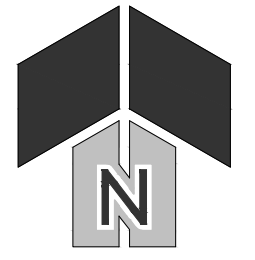


UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



PARKING REQUIREMENTS

	TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)	PROVIDED (ON-STREET)
SFA	OFF-STREET (2/UNIT)	44	88	88	0
	GUEST (1/3)*		15	43	48
SFD	DRIVEWAY (2/UNIT)*	38	76	76	0
	ENCLOSED (2/UNIT)		76	76	0
TOTALS		82	255	207	48
			TOTAL PROVIDED		255

GUEST PARKING BREAK-DOWN

	TYPE	REQUIRED	PROVIDED
ROW	OSCEOLA STREET	0	48
	STANDARD	0	41
SURFACE	ACCESSIBLE	2	2
	VAN ACCESSIBLE**	1	2
TOTAL	15 SFA / 76 SFD = 91		91
ADDITIONAL ROW PARKING	BRADBURN STREET	0	49

EV AND BIKE PARKING

	REQUIRED	PROVIDED
EV CHARGING	82	82
BICYCLE PARKING	21	22

*SEE GUEST PARKING BREAKDOWN BELOW AND ENCLOSED PARKING STUDY
 **THE ACCESSIBLE STALL COUNT IS INCLUSIVE OF THE VAN ACCESSIBLE STALL COUNT. AS SUCH VAN ACCESSIBLE STALLS HAVE NOT BEEN INCLUDED IN THE TOTAL
 ***ADDITIONAL SFD SPOTS MAY BE AVAILABLE VIA OPTIONAL 3-CAR GARAGES

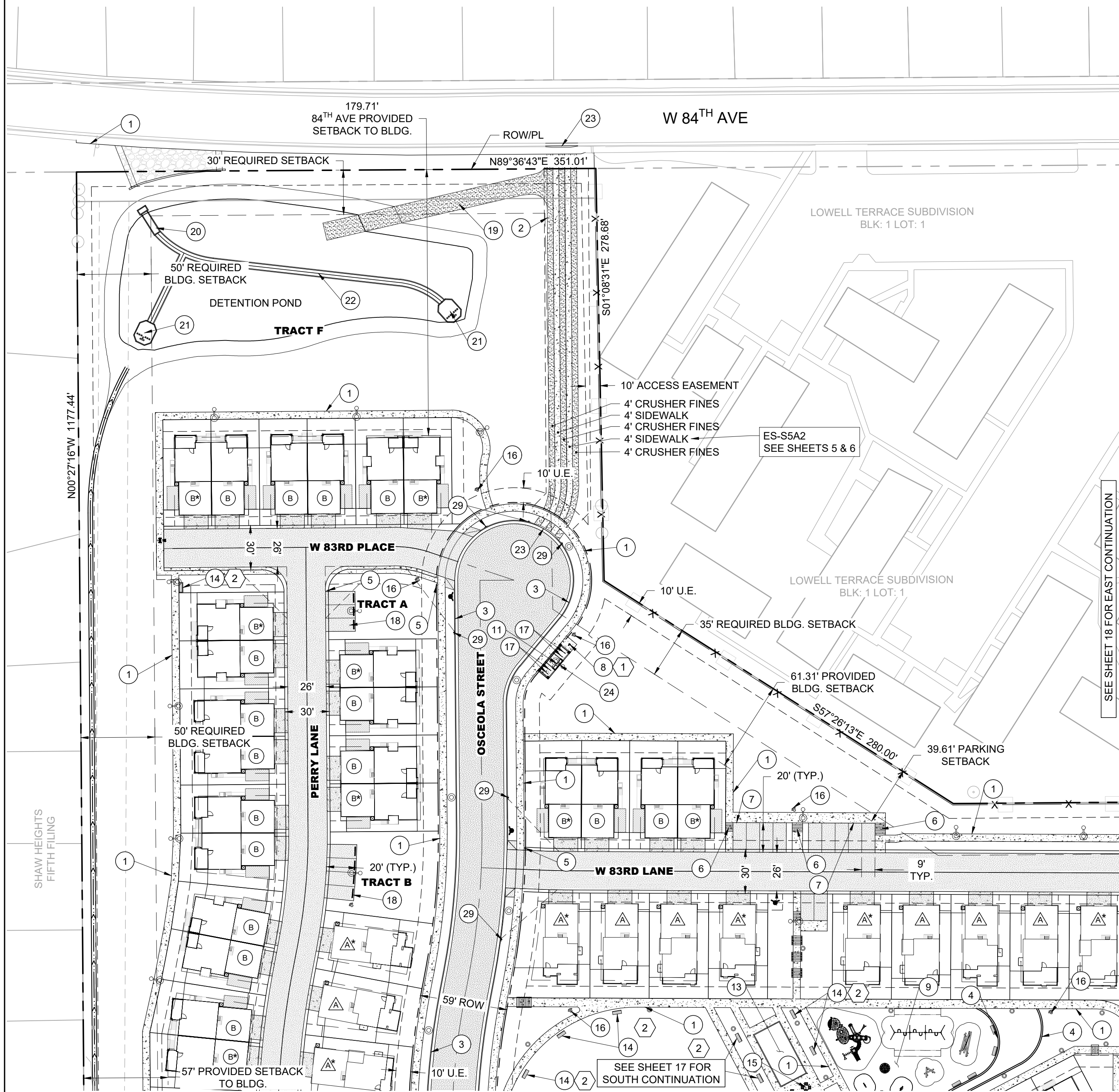
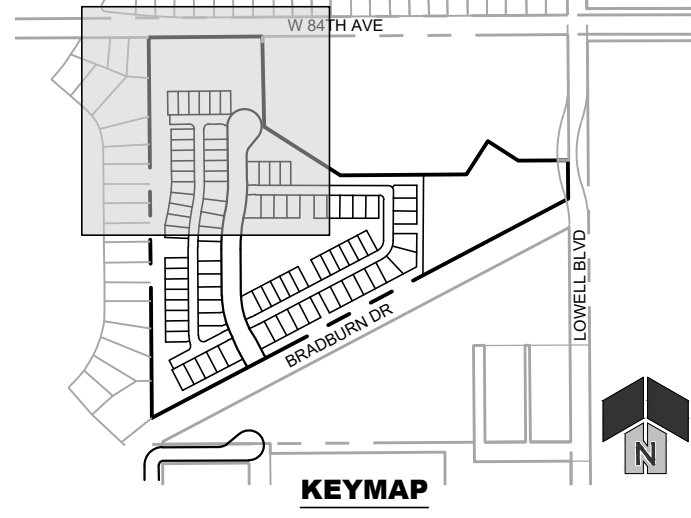
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DEVELOPER TO USE BUILDER'S CALL LINE THROUGH XCEL TO BEGIN DESIGN AND INSTALLATION PROCESS. ALL FIXTURES TO BE LED.

OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT
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SITE PLAN KEYNOTES:

- 1 5' SIDEWALK
- 2 20' TRAIL (PRIVATE)
- 3 6" VERTICAL C&G
- 4 MSE WALL
- 5 STOP SIGN
- 6 SIDEWALK RAMPS
- 7 TURNDOWN CURB
- 8 BIKE STATION
- 9 PLAYGROUND AREA
- 10 MONUMENT SIGNAGE
- 11 MAILBOX
- 12 SIDEWALK CHASE
- 13 MULTI-USE COURT
- 14 BENCH
- 15 PICNIC TABLES
- 16 DOG WASTE STATION
- 17 BIKE RACK
- 18 WHEEL STOP
- 19 MAINTENANCE PATH
- 20 OUTLET STRUCTURE
- 21 FOREBAY
- 22 TRICKLE CHANNEL
- 23 6" MOUNTABLE CURB
- 24 PARK SHADE STRUCTURE
- 25 ENHANCED PAVERS

- 26 ACCESSIBLE PARKING SIGN (R7-8) WITH "VAN ACCESSIBLE" PLAQUE (R7-8P) ON SIGN. SIGN POST IS 12 GAUGE GALVANIZED SQUARE TUBE INSIDE A 4" DIAMETER CONCRETE BOLLARD ENCASED IN PAINTED STEEL.
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- 28 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 29 NO PARKING SIGN

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ELECTIVES KEYNOTES:

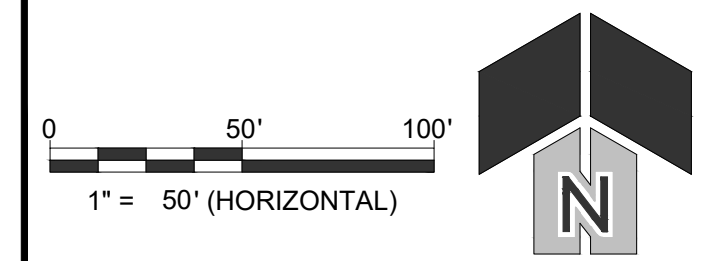
- 1 ED-S5B3, EA-S5C5, ED-S14H
- 2 ED-S5B2, EA-S5C4

SITE PLAN LEGEND:

- ▲ SFD LOT
- SFA LOT
- SIGHT DISTANCE TRIANGLE
- ▨ CONCRETE SIDEWALK
- ▨ STANDARD DUTY CONCRETE PAVING
- ▨ ASPHALT PAVEMENT
- ▨ CRUSHER FINES
- LIGHT POLES
- ☆ ENHANCED ELEVATIONS

LOT COVERAGE		
SURFACE TYPE WITHIN UPLANDS PA-B(1)	AREA (SF)	%
BUILDING AREA	148,063.1	21%
PAVING (ALLEYS/WALKS/ROADS/DRIVEWAYS)	155,667.1	22%
COMMON OPEN SPACE	312,103.0	43%
PLD AREA	103,493.5	14%
TOTAL AREA	719,326.7	100%

LOT COVERAGE NOTE:
 • PRIVATE LOT AREA INCLUDES EVERYTHING WITHIN THE LOTS
 TRACT NOTE: ALL TRACTS ARE PRIVATE.



UPLANDS

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

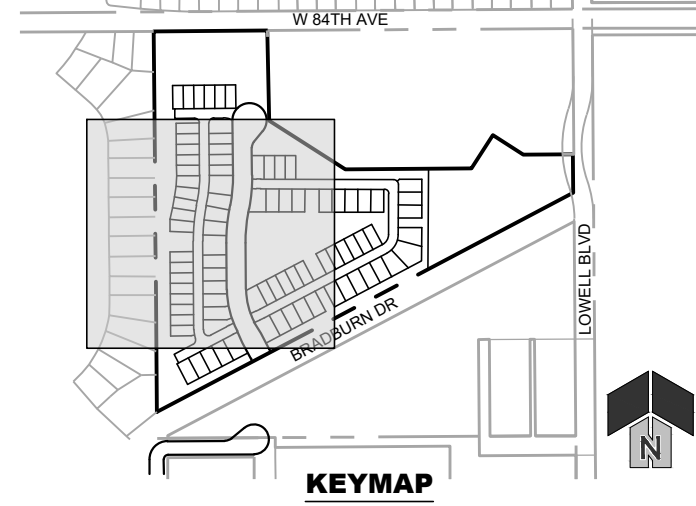
REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23

DATE: 06.07.2023

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 17 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23



SITE PLAN KEYNOTES:

- 1 5' SIDEWALK
- 2 20' TRAIL (PRIVATE)
- 3 6" VERTICAL C&G
- 4 MSE WALL
- 5 STOP SIGN
- 6 SIDEWALK RAMPS
- 7 TURNDOWN CURB
- 8 BIKE STATION
- 9 PLAYGROUND AREA
- 10 MONUMENT SIGNAGE
- 11 MAILBOX
- 12 SIDEWALK CHASE
- 13 MULTI-USE COURT
- 14 BENCH
- 15 PICNIC TABLES
- 16 DOG WASTE STATION
- 17 BIKE RACK
- 18 WHEEL STOP
- 19 MAINTENANCE PATH
- 20 OUTLET STRUCTURE
- 21 FOREBAY
- 22 TRICKLE CHANNEL
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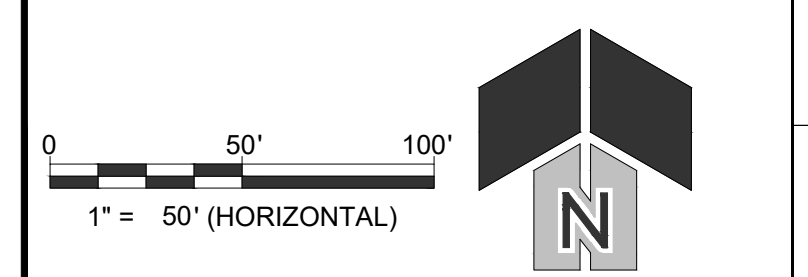
- 1 ED-S5B3, EA-S5C5, ED-S14H
- 2 ED-S5B2, EA-S5C4

SITE PLAN LEGEND:

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- SFA LOT
- SIGHT DISTANCE TRIANGLE
- ▨ CONCRETE SIDEWALK
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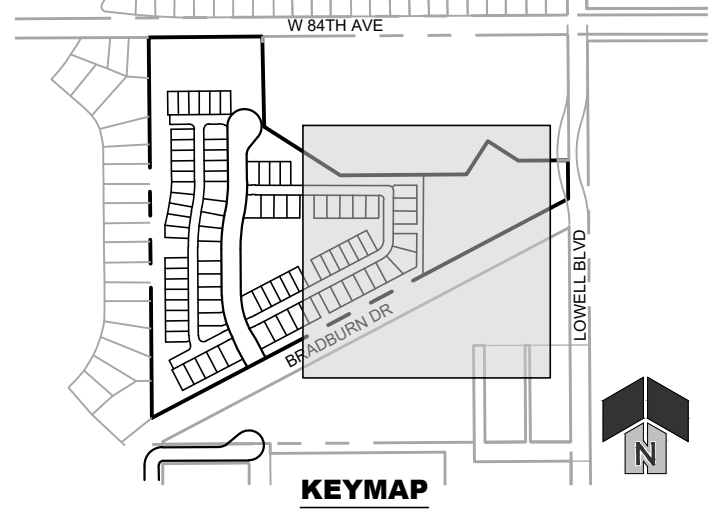
SHAW HEIGHTS FIFTH FILING

SEE SHEET 16 FOR NORTH CONTINUATION
 BLK: 1 LOT: 1

SEE SHEET 18 FOR EAST CONTINUATION

SEE SHEET 19 FOR SOUTH CONTINUATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 18 OF 87



UPLANDS

DATE: 06.07.2023

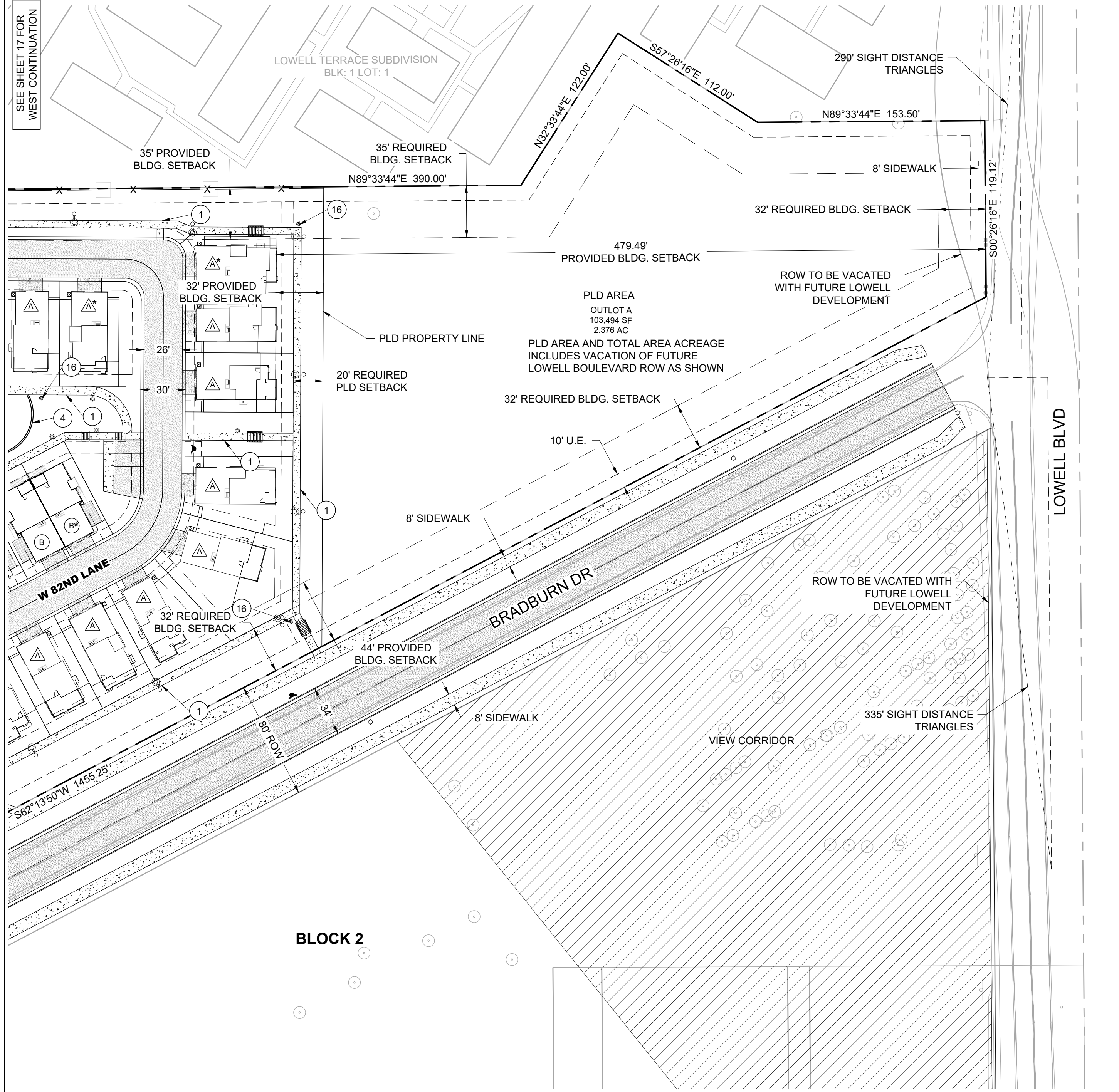
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23
 SUB-03: 06.07.23

SEE SHEET 17 FOR WEST CONTINUATION



SITE PLAN KEYNOTES:

- 1 5' SIDEWALK
- 2 20' TRAIL (PRIVATE)
- 3 6" VERTICAL C&G
- 4 MSE WALL
- 5 STOP SIGN
- 6 SIDEWALK RAMPS
- 7 TURNDOWN CURB
- 8 BIKE STATION
- 9 PLAYGROUND AREA
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- 11 MAILBOX
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ELECTIVES KEYNOTES:

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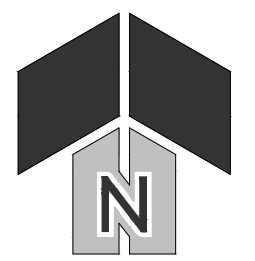
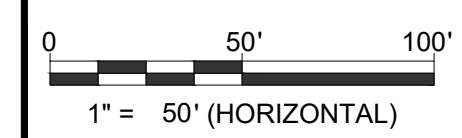
SITE PLAN LEGEND:

- △ SFD LOT
- SFA LOT
- SIGHT DISTANCE TRIANGLE
- CONCRETE SIDEWALK
- STANDARD DUTY CONCRETE PAVING
- ASPHALT PAVEMENT
- CRUSHER FINES
- LIGHT POLES
- ENHANCED ELEVATIONS

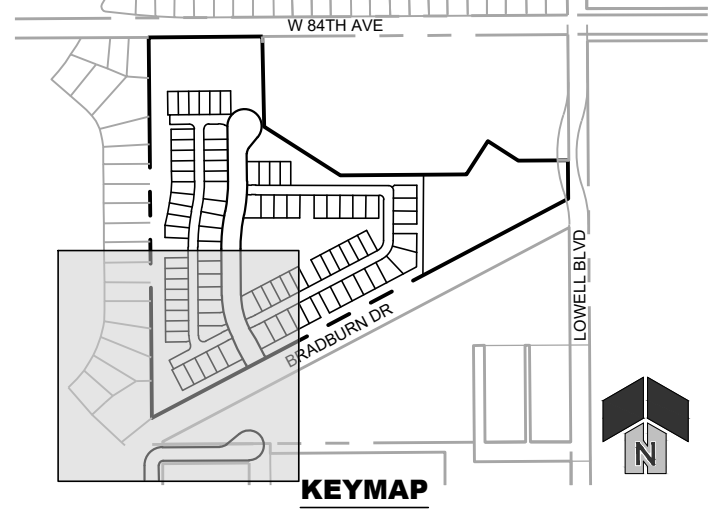
LOT COVERAGE		
SURFACE TYPE WITHIN UPLANDS PA-B(1)	AREA (SF)	%
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 19 OF 87



UPLANDS

DATE: 06.07.2023

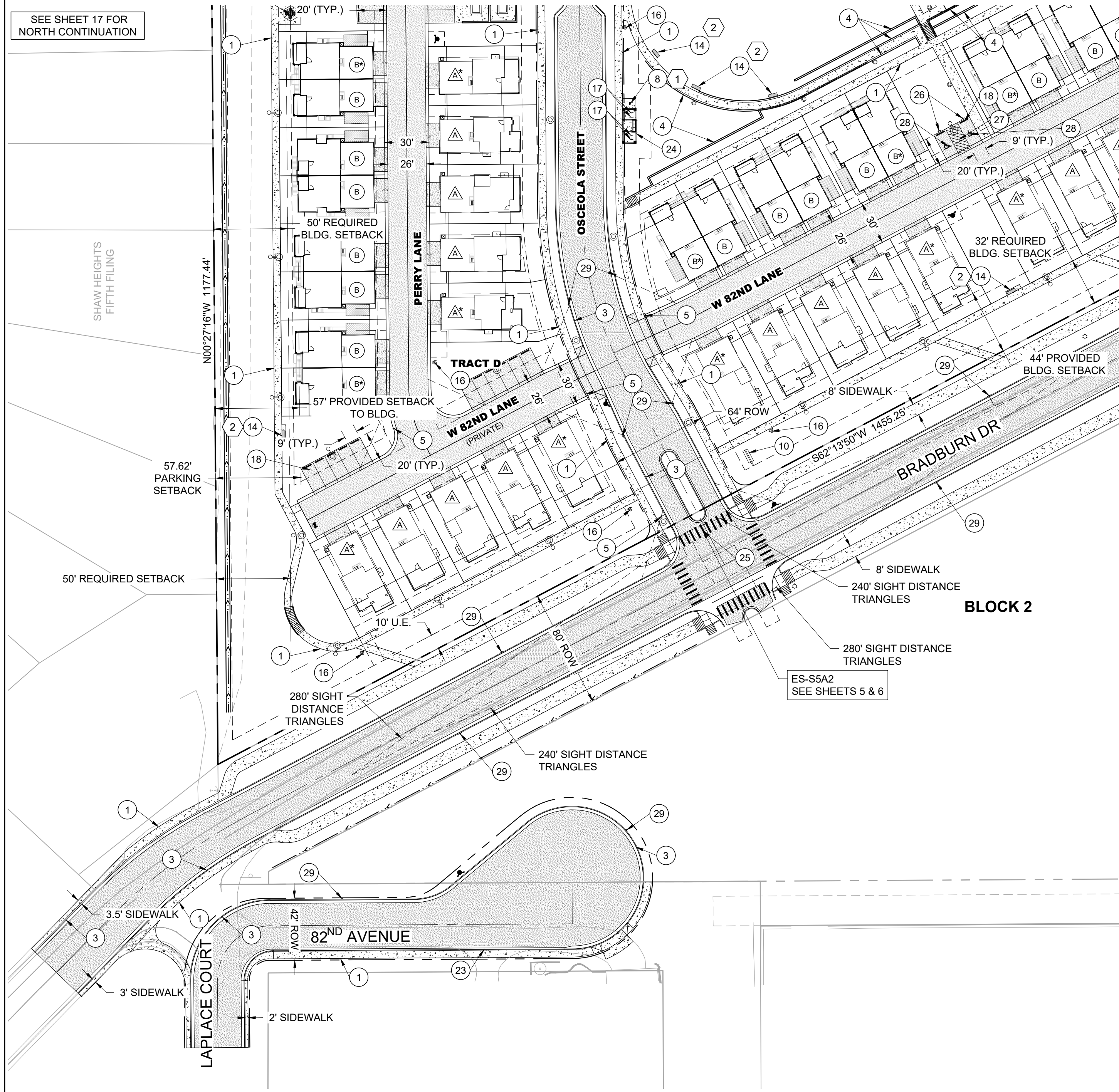
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23
 SUB-03: 06.07.23

SEE SHEET 17 FOR
 NORTH CONTINUATION



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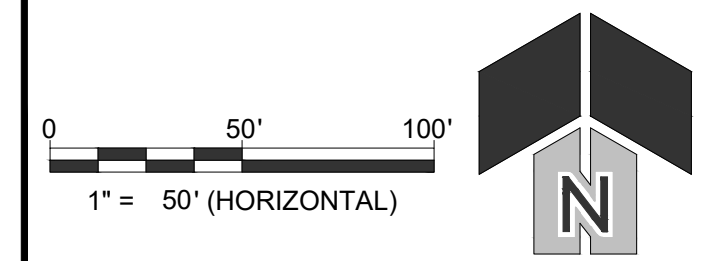
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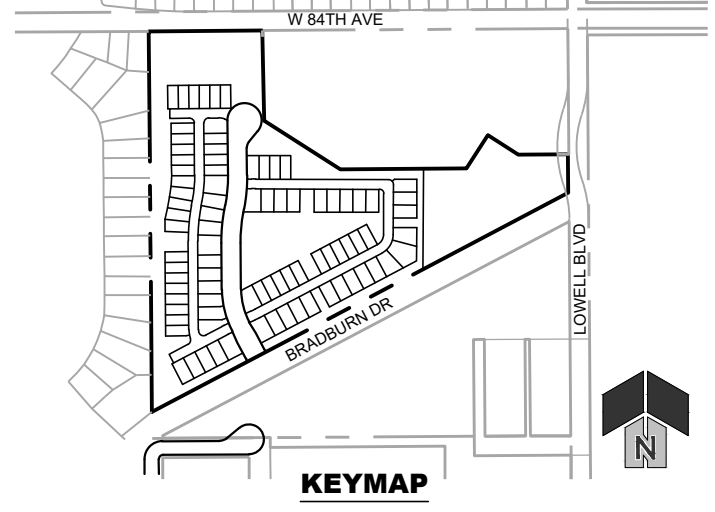
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 20 OF 87



UPLANDS

DATE: 06.07.2023

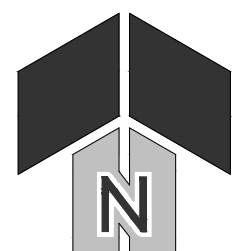
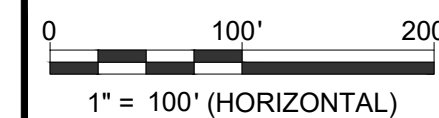
UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

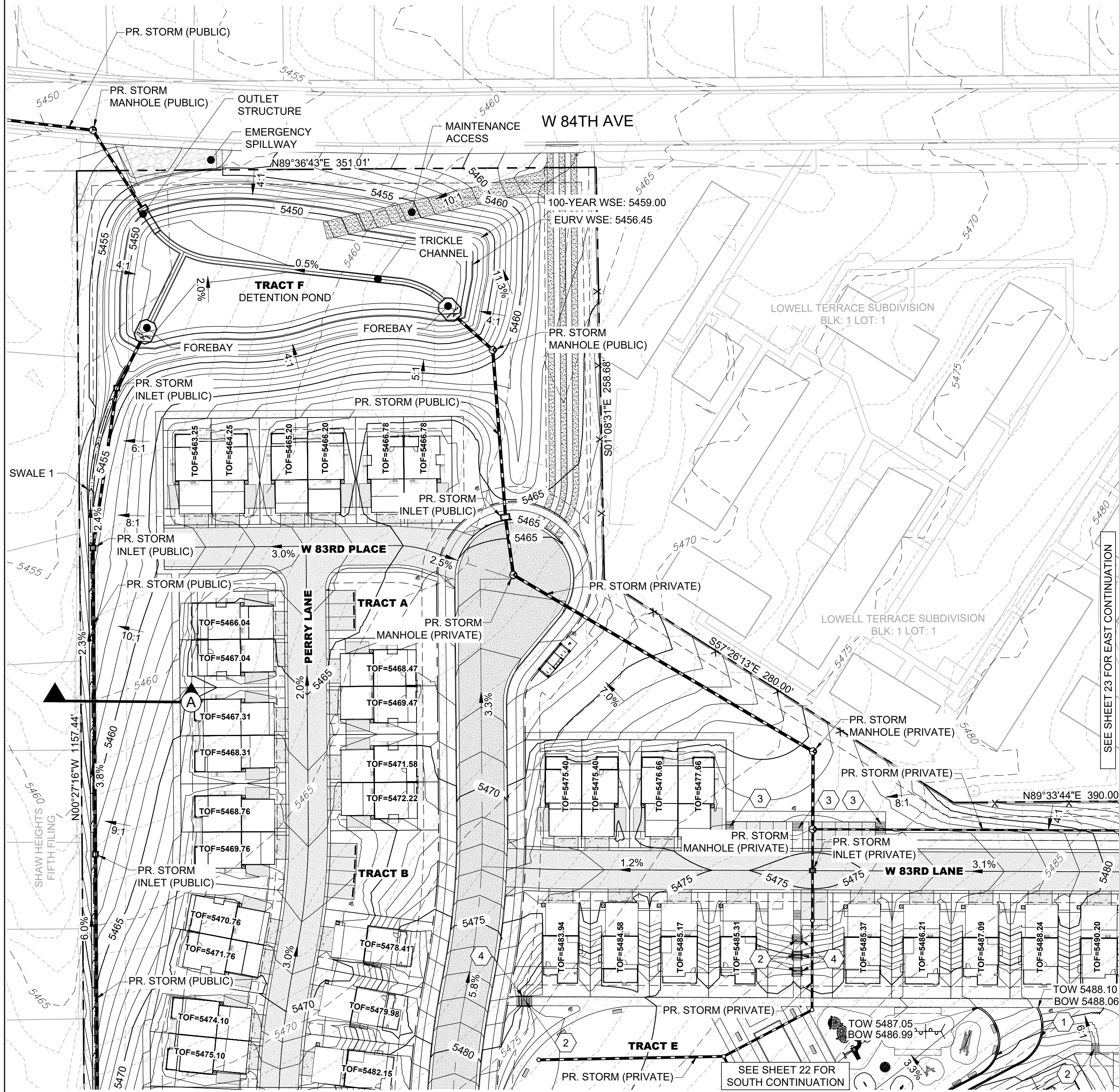
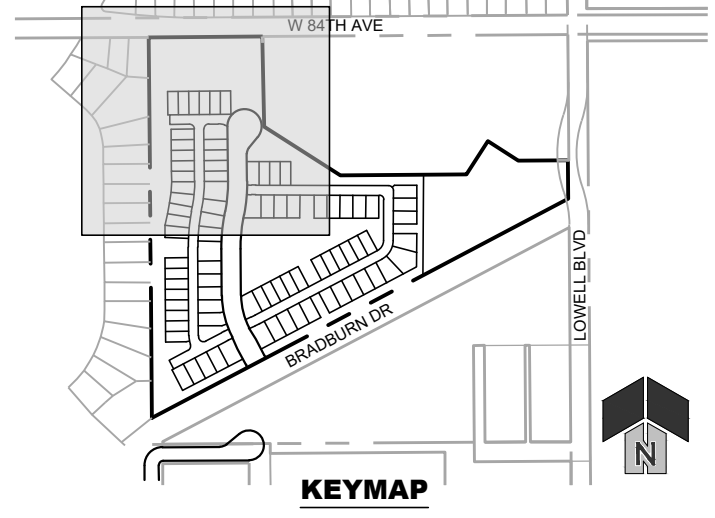
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

- SUB-02: 04.13.23
- SUB-03: 06.07.23

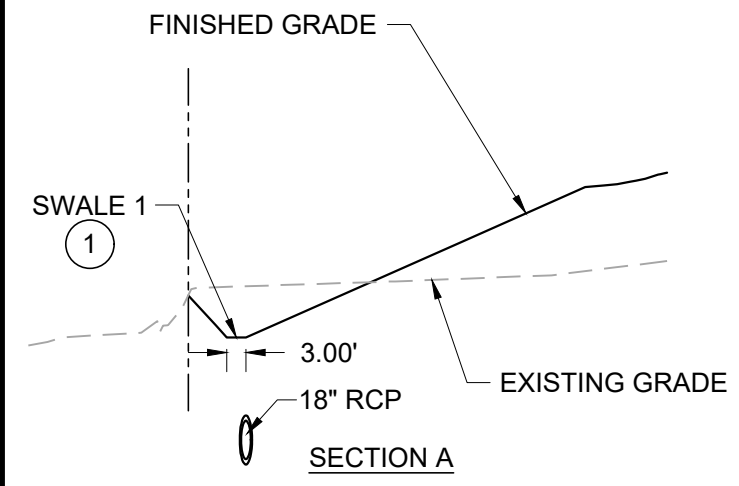


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 21 OF 87



GRADING PLAN NOTES:

1. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCLUDING RAMPS).
2. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ADA RAMP SHALL BE 8.33%.
3. CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT TO ENSURE ALL SUBGRADE PREPARATION REQUIREMENTS, PAVEMENT RECOMMENDATIONS, MINIMUM SLOPE REQUIREMENTS, AND ALL OTHER APPLICABLE REQUIREMENTS ARE MET.
4. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED.



SWALE DESIGN NOTES:

- SWALE 1 TO DISCHARGE INTO DETENTION POND

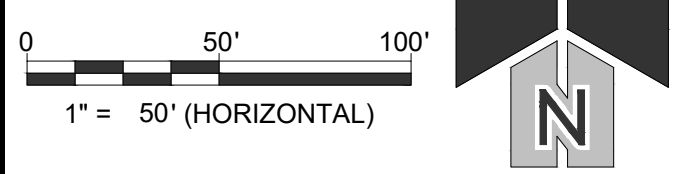
LEGEND

- 100 (solid line) PROPOSED MAJOR CONTOUR
- 100 (dashed line) PROPOSED MINOR CONTOUR
- 100 (dotted line) EXISTING MAJOR CONTOUR
- 100 (dash-dot line) EXISTING MINOR CONTOUR
- DRAINAGE FLOW ARROW

- TOF TOP OF FOUNDATION
- 1 VARIABLE HEIGHT MSE WALL
- 2 STAIRS
- 3 SIDEWALK RAMPS
- 4 HANDRAIL

ELECTIVES KEYNOTES

- 1 ED-E1D2, EA-E1D2



UPLANDS

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

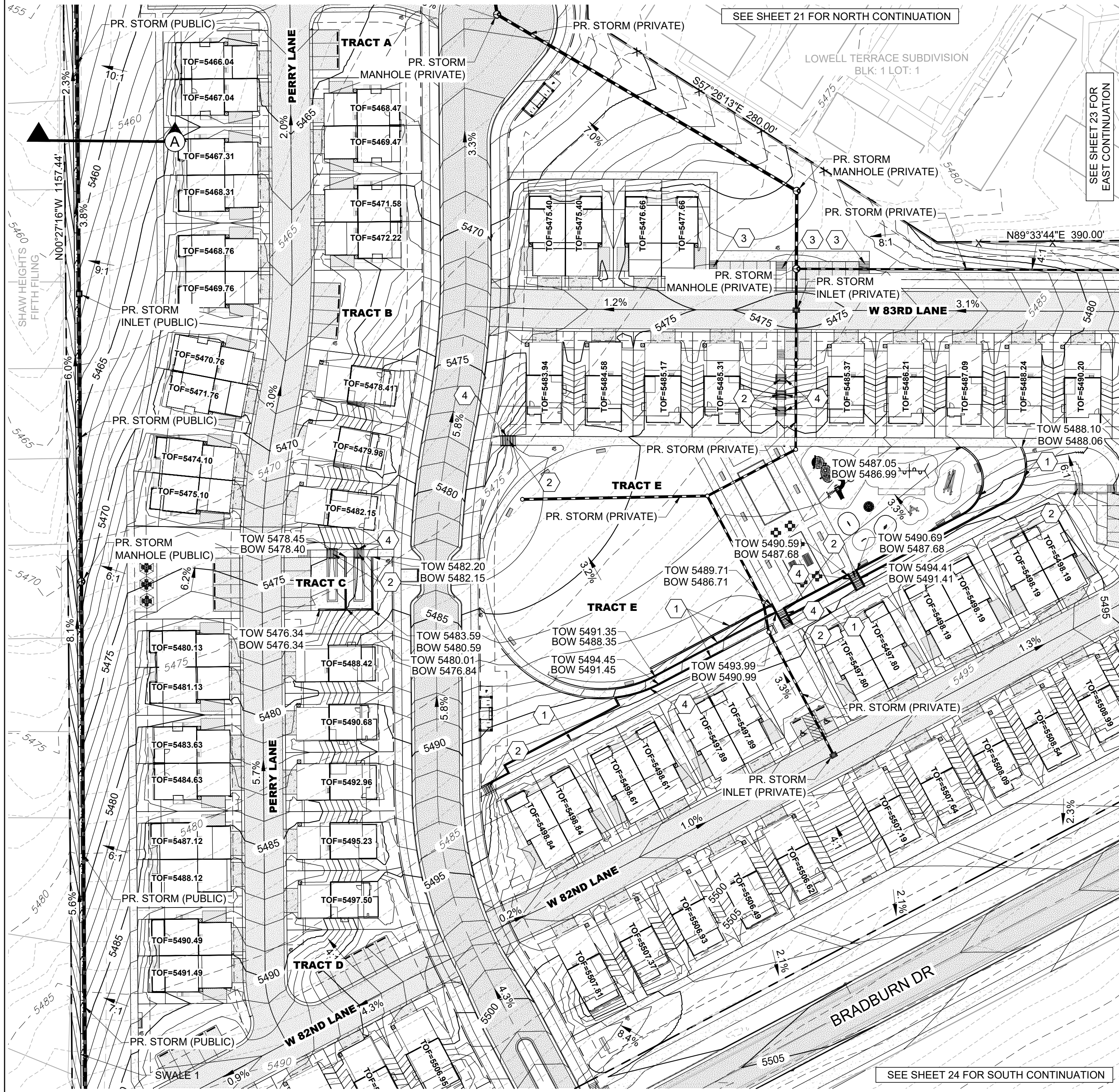
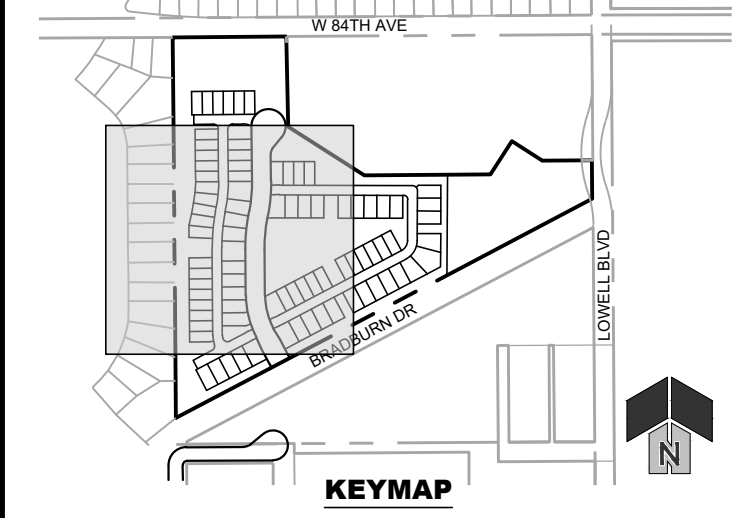
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OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

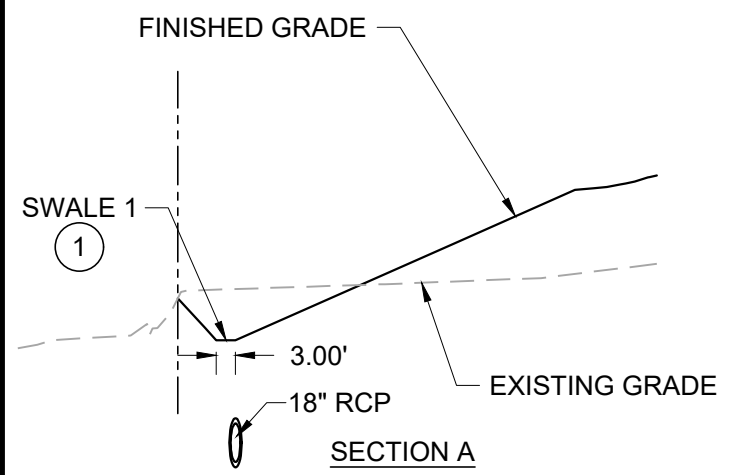
SUB-02: 04.13.23
 SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 22 OF 87



GRADING PLAN NOTES:

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SWALE DESIGN NOTES:

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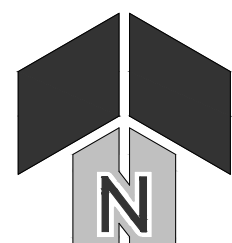
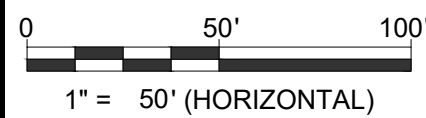
LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE FLOW ARROW

- TOF TOP OF FOUNDATION
- VARIABLE HEIGHT MSE WALL
- STAIRS
- SIDEWALK RAMPS
- HANDRAIL

ELECTIVES KEYNOTES

- ED-E1D2, EA-E1D2



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

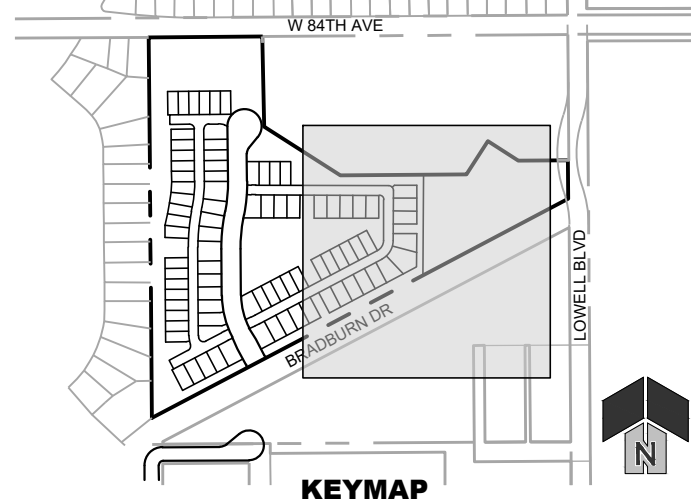
SUB-02: 04.13.23

SUB-03: 06.07.23

22 OF 87

GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 23 OF 87

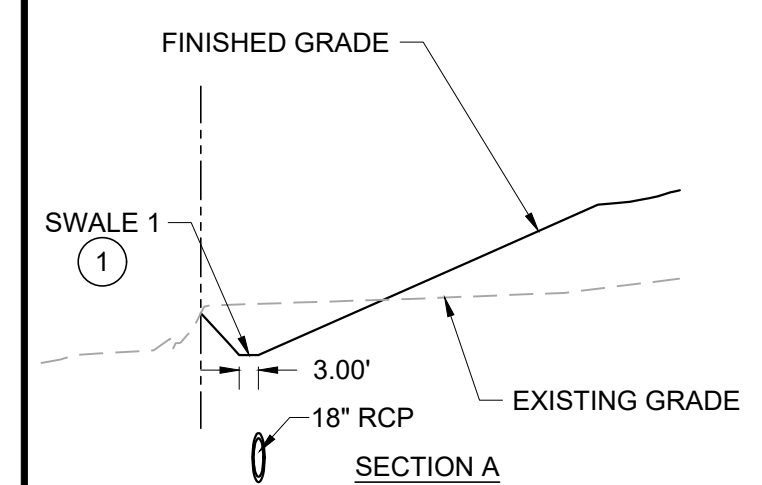


UPLANDS

DATE: 06.07.2023

GRADING PLAN NOTES:

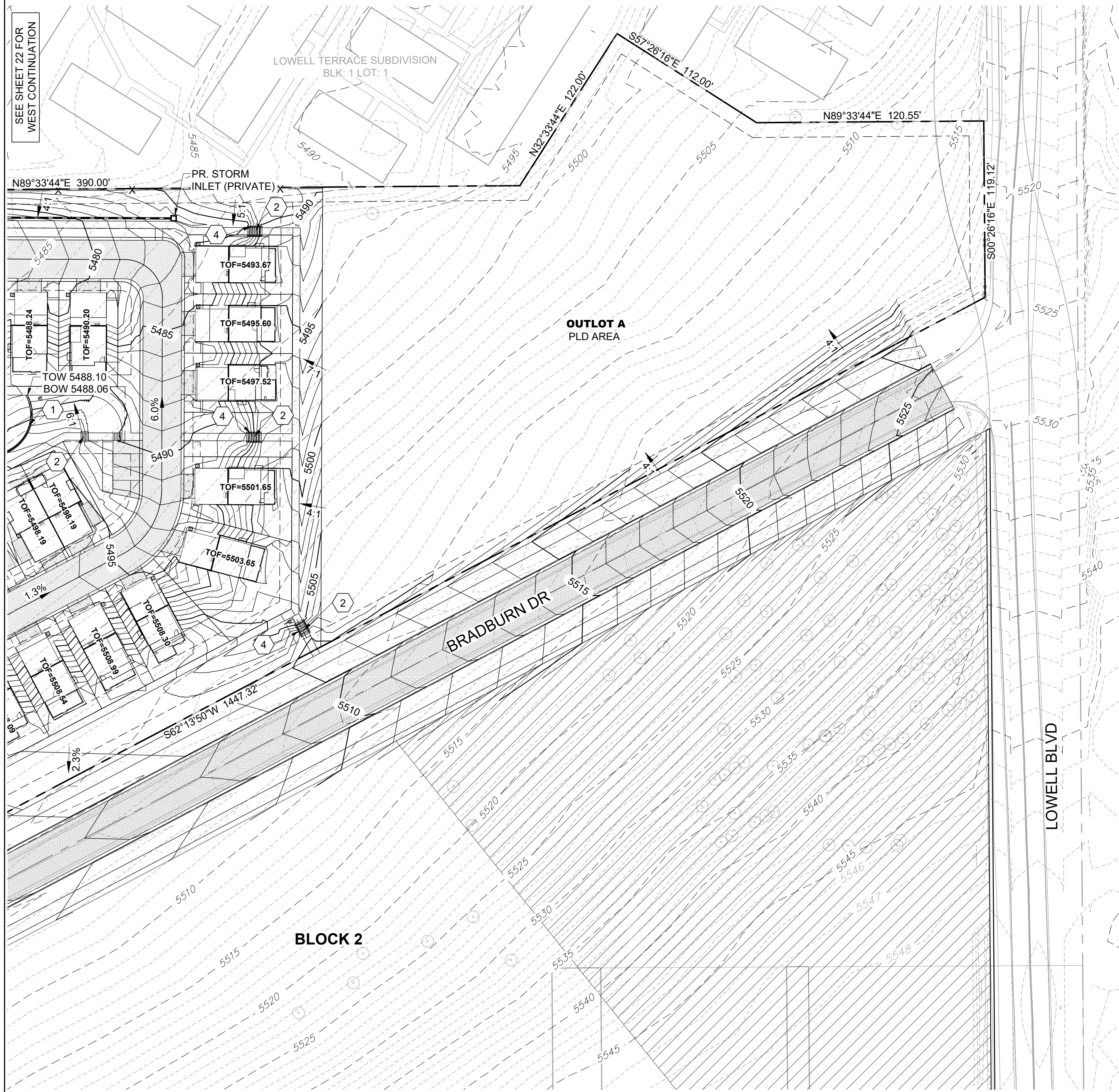
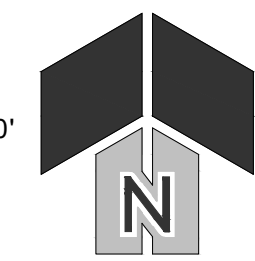
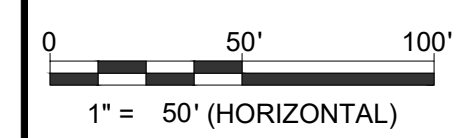
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SWALE DESIGN NOTES:
 • SWALE 1 TO DISCHARGE INTO DETENTION POND

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE FLOW ARROW
- TOF TOP OF FOUNDATION
- VARIABLE HEIGHT MSE WALL
- STAIRS
- SIDEWALK RAMPS
- HANDRAIL
- ELECTIVES KEYNOTES**
- ED-E1D2, EA-E1D2



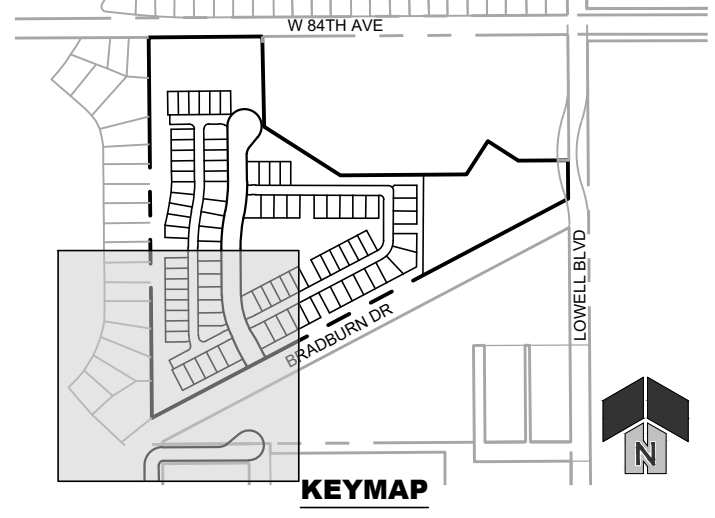
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

- SUB-02: 04.13.23
- SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 24 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

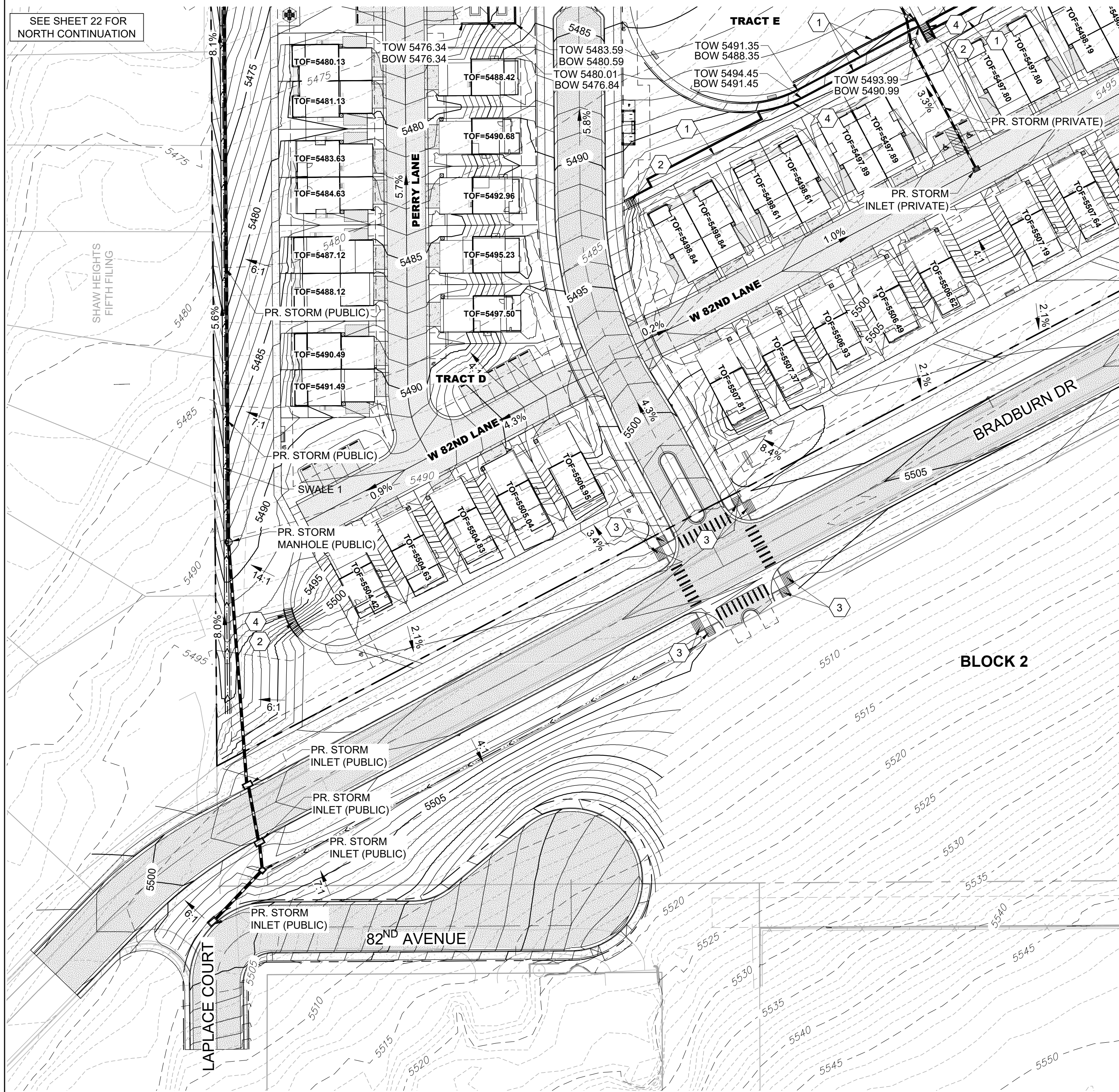
REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23

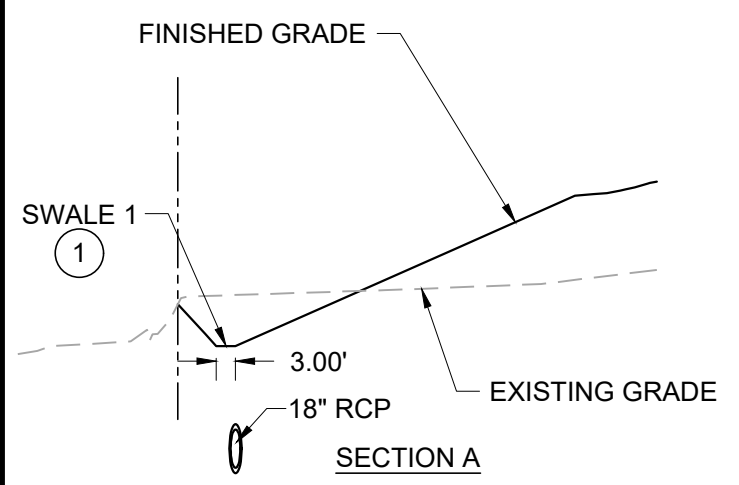
24 OF 87
GRADING PLAN

SEE SHEET 22 FOR
NORTH CONTINUATION



GRADING PLAN NOTES:

1. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCLUDING RAMPS).
2. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ADA RAMP SHALL BE 8.33%.
3. CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT TO ENSURE ALL SUBGRADE PREPARATION REQUIREMENTS, PAVEMENT RECOMMENDATIONS, MINIMUM SLOPE REQUIREMENTS, AND ALL OTHER APPLICABLE REQUIREMENTS ARE MET.
4. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED.



SWALE DESIGN NOTES:

- SWALE 1 TO DISCHARGE INTO DETENTION POND

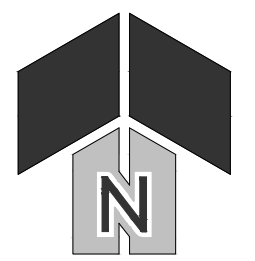
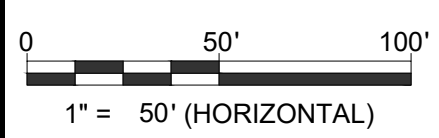
LEGEND

- 100 (solid line) PROPOSED MAJOR CONTOUR
- 100 (dashed line) PROPOSED MINOR CONTOUR
- 100 (dotted line) EXISTING MAJOR CONTOUR
- 100 (dash-dot line) EXISTING MINOR CONTOUR
- DRAINAGE FLOW ARROW

- TOF TOP OF FOUNDATION
- 1 VARIABLE HEIGHT MSE WALL
- 2 STAIRS
- 3 SIDEWALK RAMPS
- 4 HANDRAIL

ELECTIVES KEYNOTES

- 1 ED-E1D2, EA-E1D2

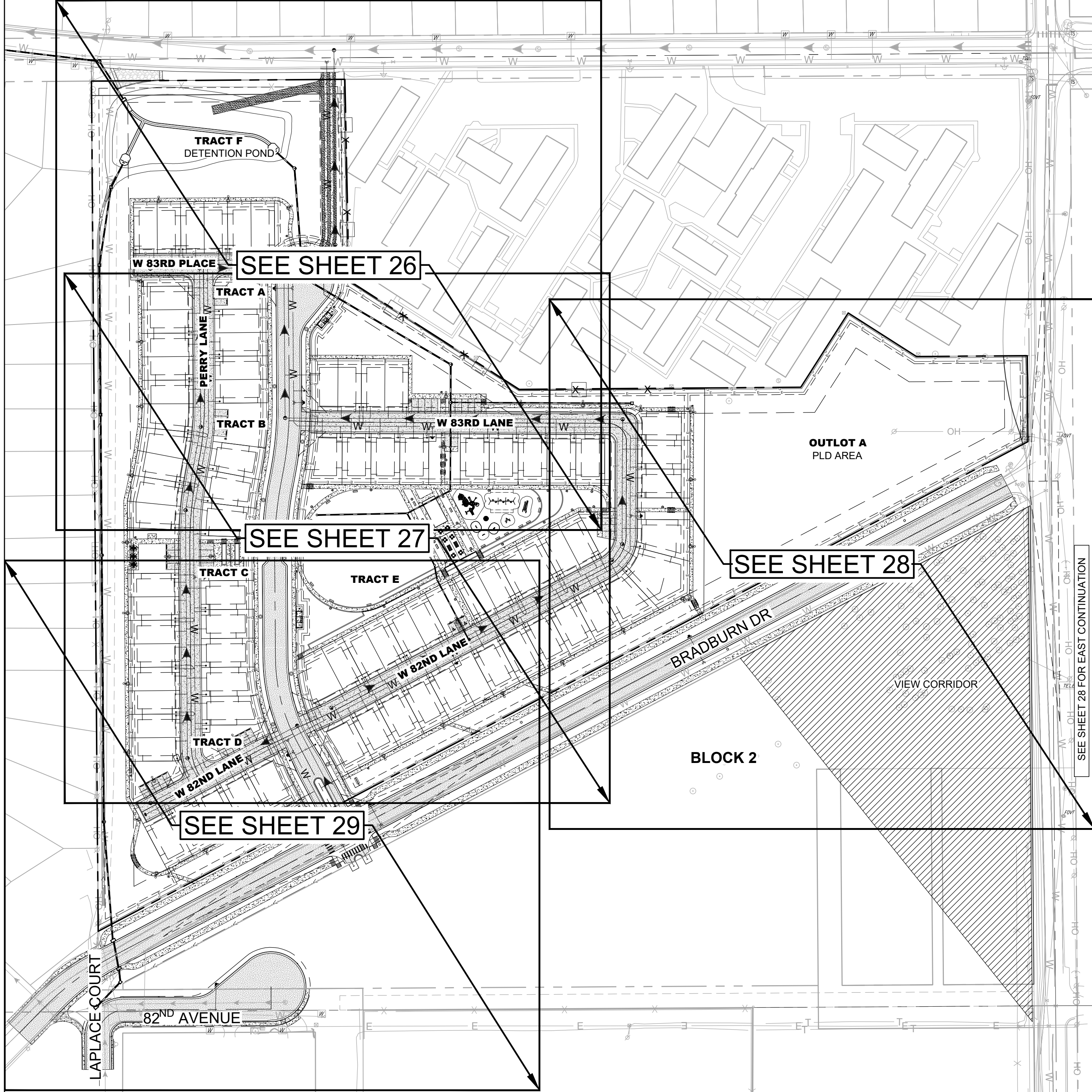


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 25 OF 87



UPLANDS

DATE: 06.07.2023



UPLANDS FILING NO. 2 BLOCK 1

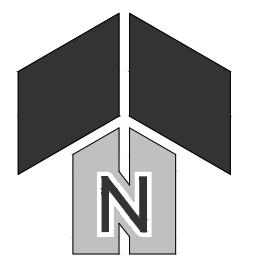
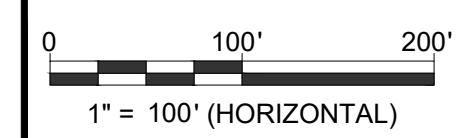
OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

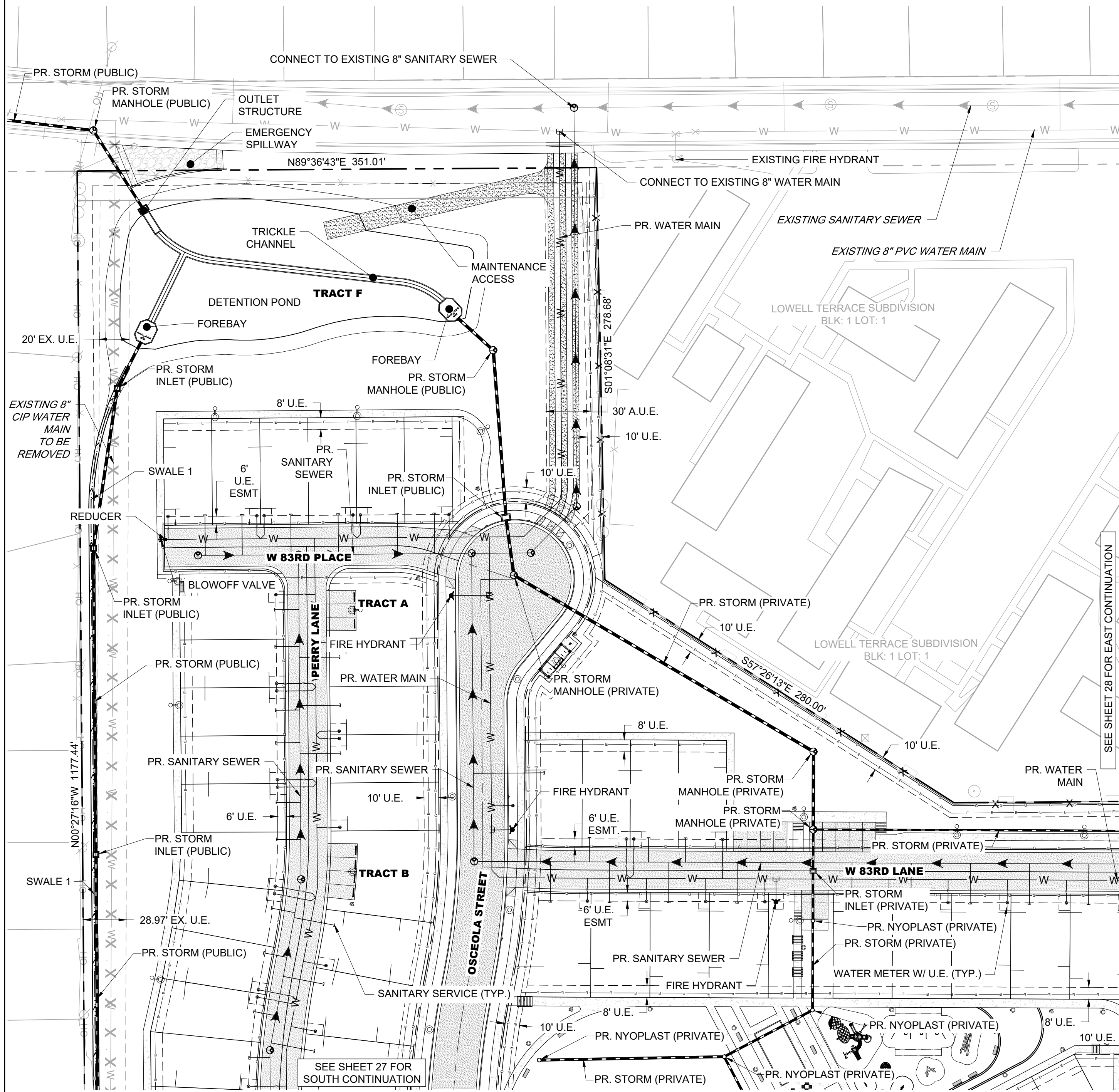
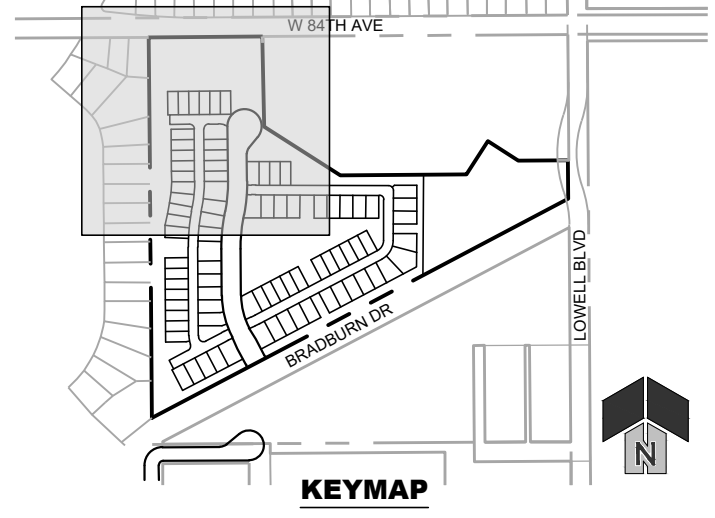
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

- SUB-02: 04.13.23
- SUB-03: 06.07.23



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 26 OF 87



LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED GAS
- PROPOSED ELECTRIC
- PROPOSED LIGHT POLES (SEE PHOTOMETRIC PLANS)
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- ABANDONED LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE

UPLANDS

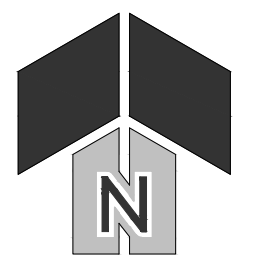
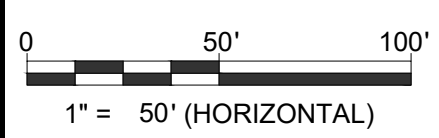
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

DATE: 06.07.2023

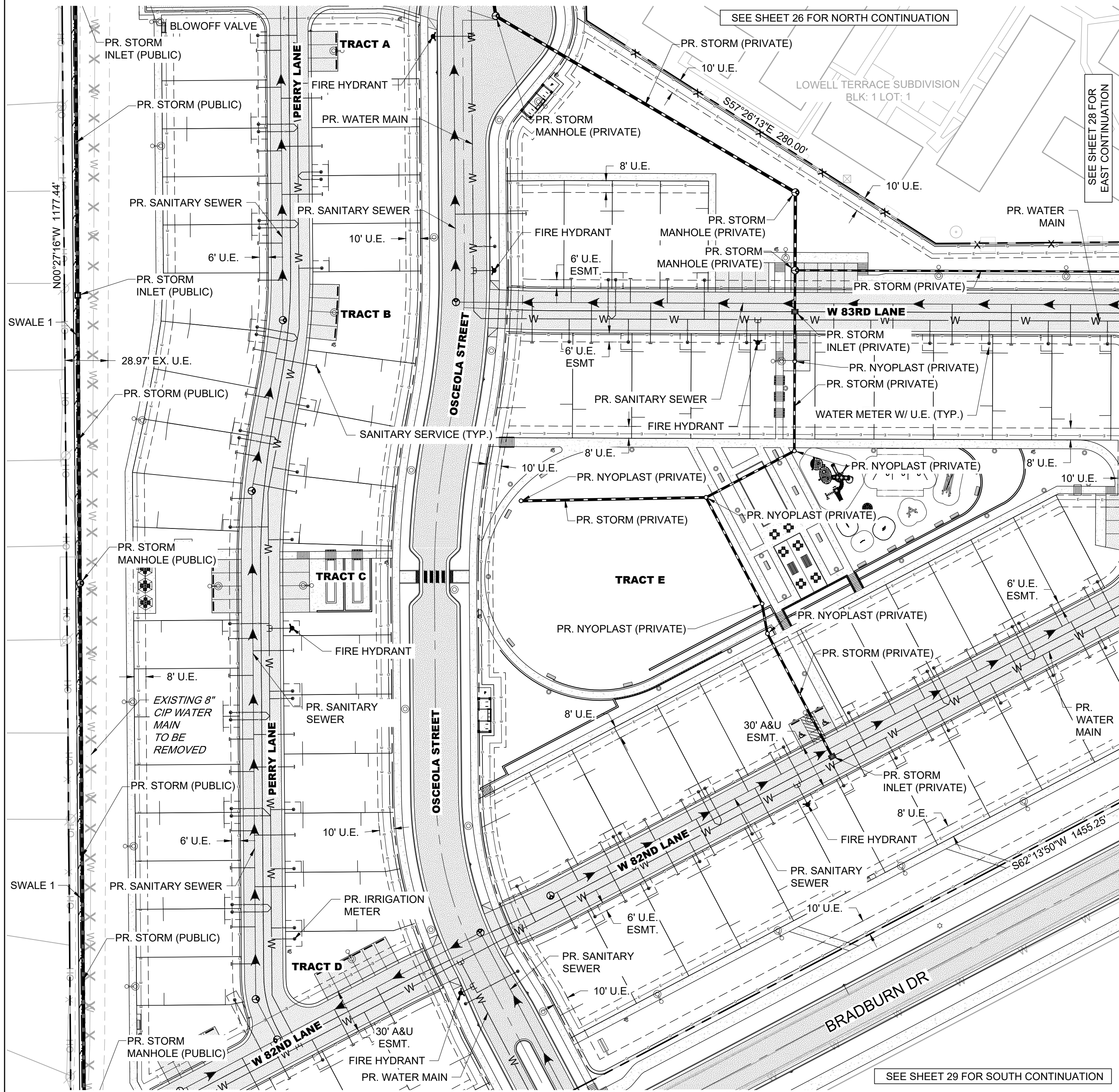
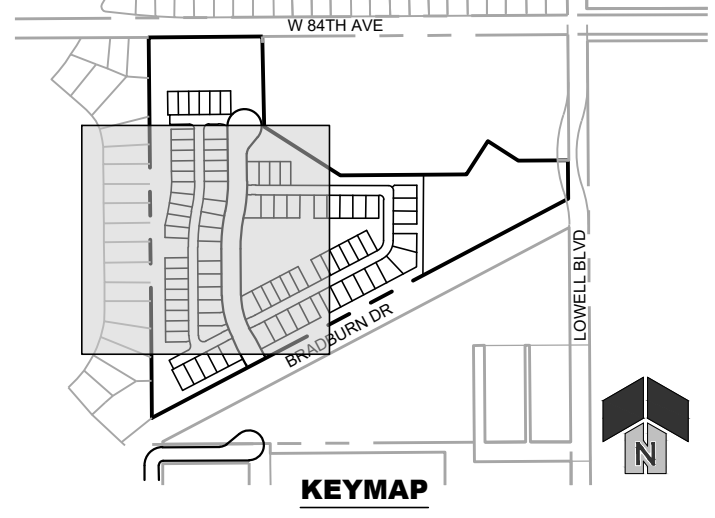
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23
SUB-03: 06.07.23



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 27 OF 87



LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED GAS
- PROPOSED ELECTRIC
- PROPOSED LIGHT POLES (SEE PHOTOMETRIC PLANS)
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- ABANDONED LINE
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- EXISTING WATER VALVE

UPLANDS

UPLANDS FILING NO. 2 BLOCK 1

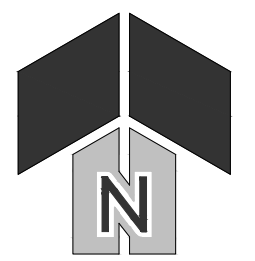
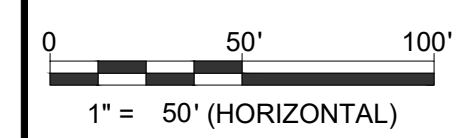
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WESTMINSTER, COLORADO

DATE: 06.07.2023

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SUB-02: 04.13.23
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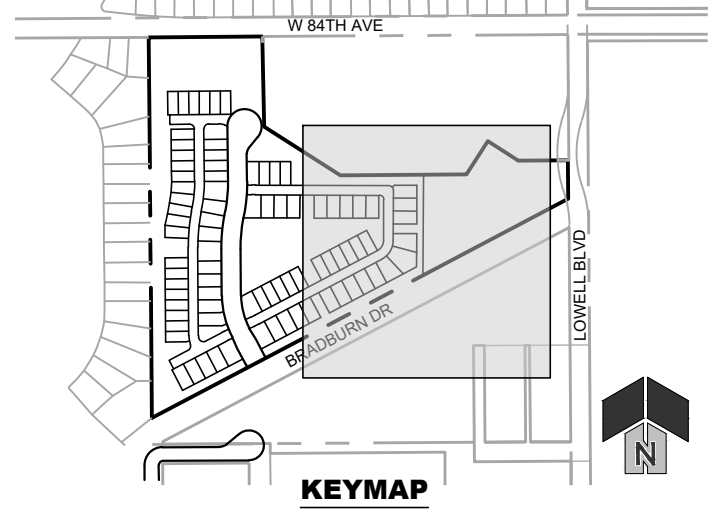


SEE SHEET 29 FOR SOUTH CONTINUATION

SEE SHEET 26 FOR NORTH CONTINUATION

SEE SHEET 28 FOR EAST CONTINUATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 28 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

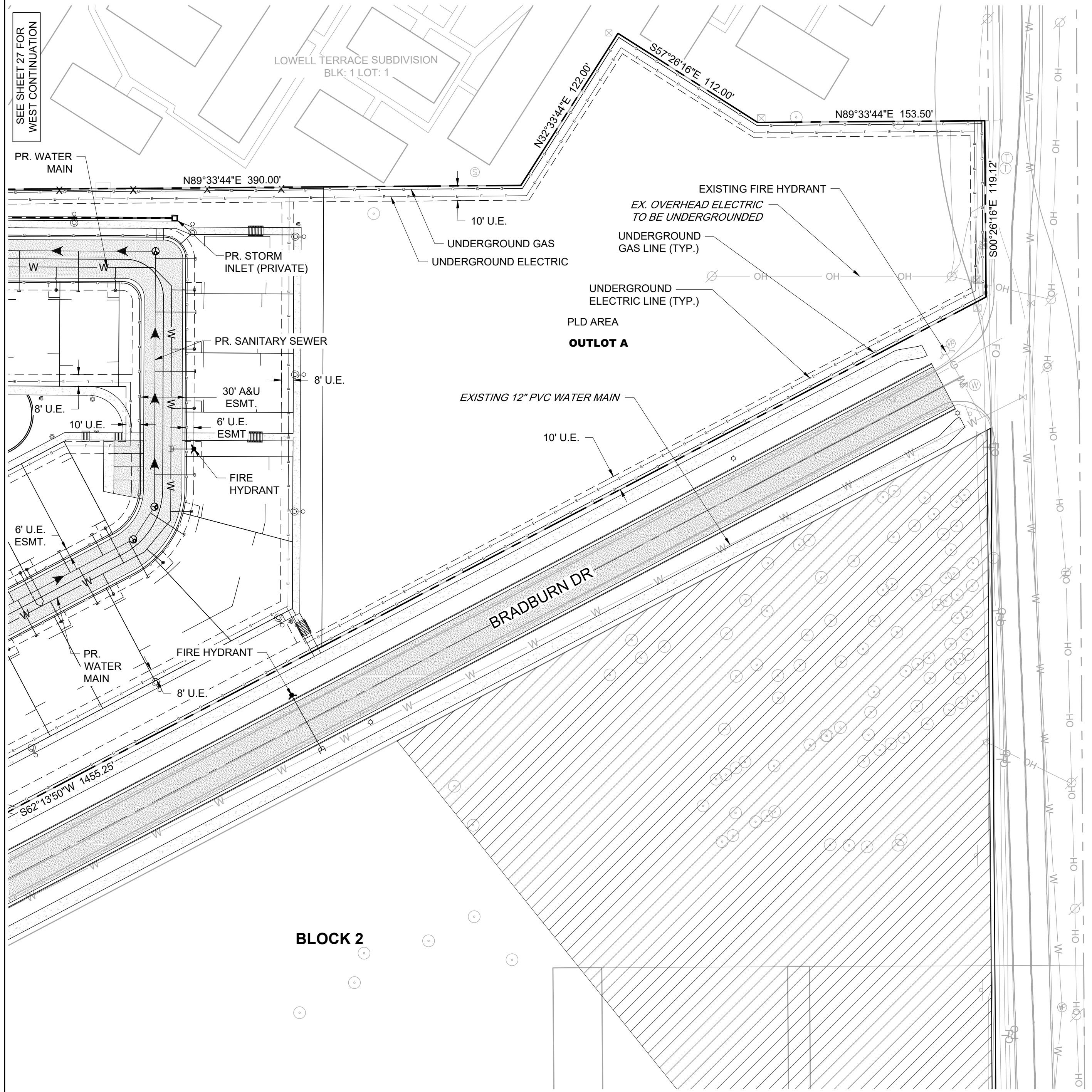
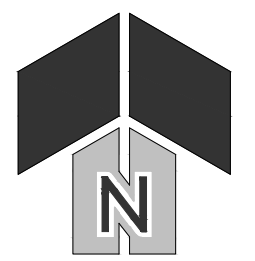
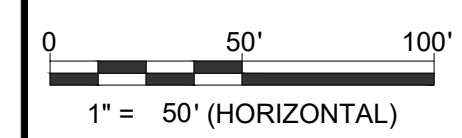
SUB-02: 04.13.23

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28 OF 87
UTILITY PLAN

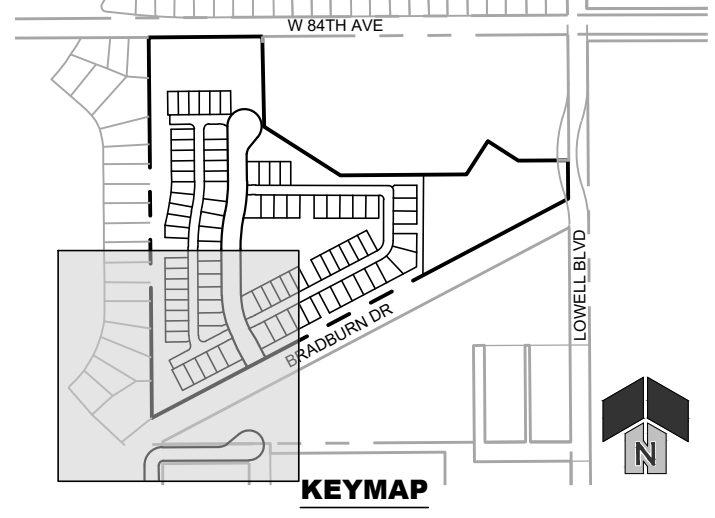
LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
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- PROPOSED LIGHT POLES (SEE PHOTOMETRIC PLANS)
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
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- EXISTING WATER VALVE



SEE SHEET 27 FOR WEST CONTINUATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 29 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

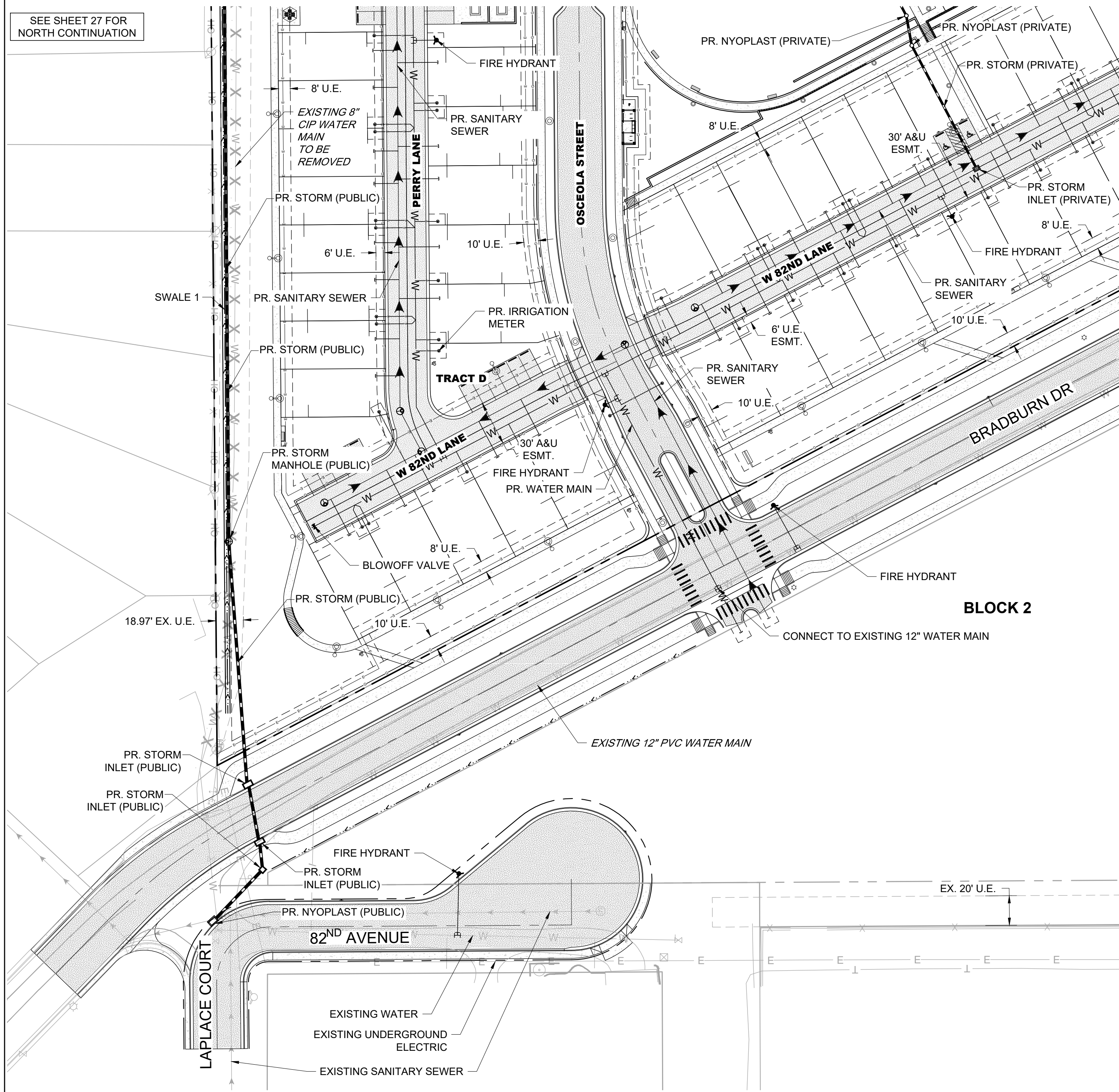
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WESTMINSTER, COLORADO

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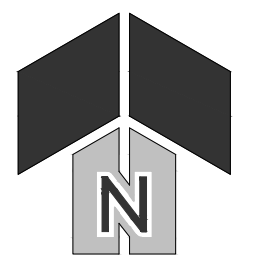
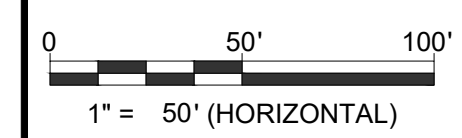
SUB-02: 04.13.23
SUB-03: 06.07.23

SEE SHEET 27 FOR
NORTH CONTINUATION



LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 30 OF 87



WESTMINSTER STANDARD STATEMENTS

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 31 OF 87



1101 BANNOCK STREET
 DENVER, CO 80204
 P. 303.862.1166

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

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EA-LA1

	COMMON SPACE: PRIVATE LANDSCAPE AREA * (312,103 SF = 43%)			RIGHT-OF-WAY AREA (35,827 SF)			PRIVATE PARK (60,027 SF = 8.3%)		
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1 / 550 SF	568	350**	1 / 500 SF	72	80	1 / 550 SF	109	62***
SHRUBS	3 / 550 SF	1,702	2,600**	3 / 550 SF	195	668	3 / 550 SF	327	499

LANDSCAPE QUANTITIES: HIGH WATER TURF AREA		
TOTAL LANDSCAPE AREA	MAX HIGH WATER TURF AREA (LESS THAN 20%)	PROVIDED HIGH WATER TURF AREA
312,103	< 62,421 SF	22,116 SF (7.1%)

SOIL AMENDMENT REQUIRED				
PRIVATE LANDSCAPE AREA *	312,103	X 5 YDS/1000 SF =	1,561	CU. YDS.
RIGHT-OF-WAY AREA	35,827	X 5 YDS/1000 SF =	179	CU. YDS.
TOTAL: 347,930			1,740	CU. YDS.

NOTE:
 -10 SHRUBS ARE EQUIVALENT TO 1 TREE
 -3 ORNAMENTAL GRASSES ARE EQUIVALENT TO 1 SHRUB
 * EXCLUDES PLD, INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE
 ** INCLUDES REQUIRED 1 TREE AND 10 SHRUBS FOR ALL FRONT YARD LANDSCAPES. FINAL FRONT YARD DESIGNS WILL VARY BASED ON FINAL PRODUCT CONFIGURATION. LOT TYPICALS HAVE BEEN PROVIDED FOR REFERENCE.
 *** DEFICIENCY IN PARK AREA DUE TO ACTIVE PLAY LAWN. LANDSCAPE REQUIREMENTS ARE MADE UP FOR IN ADJACENT LANDSCAPE AREAS.

EA-E1C2,
 ED-E1C2
 NOTE:
 - * EXCLUDES PLD

MATERIAL SCHEDULE

CODE	DESCRIPTION	MANUFACTURER	PRODUCT NAME	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
M-01	WOOD MULCH	PIONEER SAND OR APPROVED EQUAL	GORILLA HAIR CEDAR WOOD MULCH	GORILLA HAIR CEDAR MULCH	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-03	CRUSHER FINES	PIONEER SAND COMPANY OR APPROVED EQUAL	FINES	GRAY OR APPROVED EQUAL	>3/8"	SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH.
M-04	STANDARD CONCRETE	COLORADO HARDSCAPES OR APPROVED EQUAL	STANDARD GRAY CONCRETE	STANDARD GRAY / BROOM FINISHED	SEE PLAN FOR DIMENSIONS, SEE CIVIL FOR DEPTH.]	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-05	PLAY SAFETY SURFACING	RECREATION PLUS, LTD. OR APPROVED EQUAL	ENGINEERED WOOD FIBER	NATURAL	SEE PLAN FOR DIMENSIONS	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-06	STEEL EDGING	RYERSON OR APPROVED EQUAL	INTERLOCKING ROLLED TOP EDGER	BLACK	6" X 14" GAUGE	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-07	RETAINING WALL STONE	ALLAN BLOCK	AB ASHLAR PATTERN WITH CAP	TAN BLEND	8" H X 12" D X 18" L	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION

SURFACE TYPE WITHIN UPLANDS PA-B(1)	AREA (SF)	% OF SITE
BUILDING AREA	148,063.1	21%
PAVING (ALLEYS / WALKS / ROADS / DRIVEWAYS)	155,667.1	22%
COMMON OPEN SPACE	312,103.0	43%
PLD AREA	103,493.5	14%
TOTAL AREA	719,326.7	100%

SITE AMENITY SCHEDULE

 S-01 DESCRIPTION: BIKE RACK MANUFACTURER: SITE PIECES MODEL: MONOLINE DUO BIKE RACK OR APPROVED EQUAL COLOR / FINISH: CAMPFIRE EMBERS POWDER COAT NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-02 DESCRIPTION: LITTER RECEPTACLE MANUFACTURER: SITE PIECES MODEL: MONOLINE EDGE LITTER BIN OR APPROVED EQUAL COLOR / FINISH: MIDNIGHT POWDER COAT EXTERIOR, CAMPFIRE EMBERS SYMBOLS NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-03 DESCRIPTION: PET WASTE STATION MANUFACTURER: BARCOPRODUCTS.COM MODEL: HEADER BAG PET WASTE STATION OR APPROVED EQUAL COLOR / FINISH: BROWN OR APPROVED EQUAL NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-04 DESCRIPTION: 4 TOP TABLE MANUFACTURER: LANDSCAPE FORMS MODEL: 4 SEATS HOOP OR APPROVED EQUAL COLOR / FINISH: WHITE FRAME, STEELHEAD WOOD TABLE TOP, HOOP SEAT NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	<table border="1"> <thead> <tr> <th colspan="5">LANDSCAPE WATER BUDGET</th> </tr> <tr> <th>LANDSCAPE HYDROZONE</th> <th>COVERAGE (%)</th> <th>AREA (SF)</th> <th>TOTAL WATER USE (GAL)</th> <th></th> </tr> </thead> <tbody> <tr> <td>HIGH</td> <td>7.1</td> <td>22,116</td> <td>X 18 GAL =</td> <td>398,088</td> </tr> <tr> <td>MEDIUM</td> <td>44.7</td> <td>139,577</td> <td>X 10 GAL =</td> <td>1,395,770</td> </tr> <tr> <td>LOW</td> <td>48.2</td> <td>150,579</td> <td>X 3 GAL =</td> <td>451,737</td> </tr> <tr> <td>TOTAL ALL HYDROZONES:</td> <td>100</td> <td>312,272</td> <td>TOTAL GAL:</td> <td>2,245,595</td> </tr> <tr> <td colspan="3">TOTAL GAL / TOTAL LANDSCAPED AREA =</td> <td>7.2</td> <td>GAL / SF</td> </tr> </tbody> </table>	LANDSCAPE WATER BUDGET					LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)		HIGH	7.1	22,116	X 18 GAL =	398,088	MEDIUM	44.7	139,577	X 10 GAL =	1,395,770	LOW	48.2	150,579	X 3 GAL =	451,737	TOTAL ALL HYDROZONES:	100	312,272	TOTAL GAL:	2,245,595	TOTAL GAL / TOTAL LANDSCAPED AREA =			7.2	GAL / SF
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 S-05 DESCRIPTION: BENCH MANUFACTURER: SITE PIECES MODEL: MONOLINE BACKED BENCH OR APPROVED EQUAL COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / MIDNIGHT POWDER COAT FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-06 DESCRIPTION: BIKE REPAIR STAND MANUFACTURER: THE PARK CATALOG MODEL: BIKE REPAIR STAND WITH AIR PUMP OR APPROVED EQUAL COLOR / FINISH: POWDERCOATED BLACK NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-07 DESCRIPTION: FARM TABLE MANUFACTURER: SITE PIECES MODEL: MONOLINE COMMUNITY TABLE OR APPROVED EQUAL COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / MIDNIGHT POWDER COAT FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-08 DESCRIPTION: FARM TABLE BENCHES MANUFACTURER: SITE PIECES MODEL: MONOLINE FLAT BENCH OR APPROVED EQUAL COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / MIDNIGHT POWDER COAT FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.	 S-09 DESCRIPTION: UMBRELLA MANUFACTURER: LANDSCAPE FORMS MODEL: CYGNUS SOLSTICE UMBRELLA OR APPROVED EQUAL COLOR / FINISH: BUTTERCUP POWDER COATED METAL NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.																																			
 S-11 DESCRIPTION: PLAY STRUCTURE 2 MANUFACTURER: PLAYWORLD MODEL: CHALLENGERS, INFINET #350-1974 COLOR / FINISH: T.B.D. NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. AGES 5-12.	 S-12 DESCRIPTION: PLAY STRUCTURE 3 MANUFACTURER: PLAYWORLD MODEL: CONE SPINNER W/ FLOOR #ZZXX0911 COLOR / FINISH: T.B.D. NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. AGES 5-12.	 S-13 DESCRIPTION: PLAY STRUCTURES 4 & 5 MANUFACTURER: PLAYWORLD MODEL: EUGENE TIMBER STACK (SMALL) #ZZXX1320 & MACON TIMBER STACK (LARGE) #ZZXX1322 COLOR / FINISH: STANDARD NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. AGES 5-12.	 S-15 DESCRIPTION: PLAY STRUCTURE 6 MANUFACTURER: PLAYWORLD MODEL: SENSORY BELL PANEL #350-BELL COLOR / FINISH: COBALT POSTS / YELLOW-SAND PLASTIC NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.	 S-16 DESCRIPTION: PLAY STRUCTURE 7 MANUFACTURER: PLAYWORLD MODEL: SENSORY DRUM PANEL #350-DRUM COLOR / FINISH: COBALT POSTS / LIME-SAND PLASTIC NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.																																			
				 S-17 DESCRIPTION: PLAY STRUCTURE 8 MANUFACTURER: PLAYWORLD MODEL: SENSORY HORN PANEL #350-HORN COLOR / FINISH: COBALT POSTS / BEIGE-FOREST GREEN PLASTIC NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.																																			

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 32 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
	SUB-02: 04.13.23
	SUB-03: 06.07.23



PLANT SCHEDULE

<u>DECIDUOUS TREES</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>ROOT</u>	<u>SIZE</u>	<u>WATER USE</u>	<u>QTY</u>
CA SP	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL.	LOW	18
CE OC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL.	LOW	16
GL HA	GLEDITSIA TRIACANTHOS INERMIS 'HARVE' TM	NORTHERN ACCLAIM THORNLESS HONEY LOCUST	B & B	3" CAL.	LOW	18
GL SH	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL.	LOW	20
GY DI	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL.	LOW	20
QU MA	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL.	LOW	16
QU MU	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL.	LOW	11
UL PR	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3" CAL.	MOD	21
						<u>TOTAL</u> 140
<u>EVERGREEN TREES</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>ROOT</u>	<u>SIZE</u>	<u>WATER USE</u>	<u>QTY</u>
JU SP	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6' HEIGHT	LOW	42
JN ME	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	6' HEIGHT	VERY LOW	35
PI BA	PICEA PUNGENS GLAUCA 'BAKERI'	BAKERI BLUE SPRUCE	B & B	6' HEIGHT	MOD	27
PI ED	PINUS EDULIS	PINON PINE	B & B	8' HT.	VERY LOW	27
PI NI	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6' HEIGHT	LOW	22
						<u>TOTAL</u> 153
<u>ORNAMENTAL TREES</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>ROOT</u>	<u>SIZE</u>	<u>WATER USE</u>	<u>QTY</u>
AC HW	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL.	LOW	24
AM AB	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6' CLUMP	MOD	52
MA SS	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2" CAL.	MOD	9
PR CH	PRUNUS X VIRGINIANA 'P002'	SUCKER PUNCH CANADA CHOKECHERRY	B & B	2" CAL.	LOW	9
PY CA	PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	B & B	2" CAL.	MOD	3
SY RE	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2" CAL.	MOD	9
						<u>TOTAL</u> 106
<u>DECIDUOUS SHRUBS</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>ROOT</u>	<u>SIZE</u>	<u>WATER USE</u>	<u>QTY</u>
AM AL	AMELANCHIER ALNIFOLIA	SERVICEBERRY	CONT.	#5	LOW	6
BE TA	BERBERIS X 'TARA'	EMERALD CAROUSEL® BARBERRY	CONT.	#5	LOW	23
CA BM	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	CONT.	#5	LOW	68
CH NN	CHRYSOTHAMNUS NAUSEOSUS NAUCEOSUS	BABY BLUE RABBITBRUSH	CONT.	#5	LOW	27
CH VI	CHRYSOTHAMNUS VISCIDIFLORUS	YELLOW RABBITBRUSH	CONT.	#5	LOW	18
CO HA	CORNUS ALBA 'BAILHALO' TM	IVORY HALO DOGWOOD	CONT.	#5	MOD	31
CO IS	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	CONT.	#5	MOD	14
CO KE	CORNUS SERICEA 'KELSEY'	KELSEYI DOGWOOD	CONT.	#5	MOD	16
CY SP	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	CONT.	#5	LOW	33
EU CO	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	LOW	58
LI LO	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT.	#5	LOW	53
PE AT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	#5	VERY LOW	236
PE LS	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	#5	VERY LOW	30
PY MI	PHYSOCARPUS OPULIFOLIUS 'MINDIA' TM	COPPERTINA NINEBARK	CONT.	#5	MOD	44
PH SE	PHYSOCARPUS OPULIFOLIUS 'SEWARD' TM	SUMMER WINE NINEBARK	CONT.	#5	MOD	65
PO DR	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP BUSH CINQUEFOIL	CONT.	#5	MOD	49
PO MC	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	#5	LOW	78
PO PB	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	CONT.	#5	LOW	10
PR RP	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	CONT.	#5	MOD	9
RH GR	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	CONT.	#5	LOW	14
RI OD	RIBES ODORATUM	GOLDEN CURRANT	CONT.	#5	MOD	6
RO DO	ROSA X 'DOUBLE KNOCKOUT'	DOUBLE KNOCKOUT ROSE	CONT.	#5	MOD	55
RO FL	ROSA X 'FLOWER CARPET CORAL'	CORAL FLOWER CARPET ROSE	CONT.	#5	MOD	103
SA PU	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	CONT.	#5	MOD	4
SP LI	SPIRAEA X BUMALDA 'MONHUB' TM	LIMEMOUND SPIREA	CONT.	#5	MOD	30
SY PA	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	CONT.	#5	LOW	9
SY MI	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	CONT.	#5	LOW	56
VI MA	VIBURNUM BUREJAETICUM	MANCHURIAN VIBURNUM	CONT.	#5	LOW	3
VI AL	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	ALLEGHANY VIBURNUM	CONT.	#5	LOW	4
						<u>TOTAL</u> 1,152

* NOTE:
 20% MIN SHADE TREES ARE INCREASED TO 3" CAL AND 20%
 MIN OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 33 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
SUB-02: 04.13.23	
SUB-03: 06.07.23	



PLANT SCHEDULE CONT.

EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	QTY
AR CH	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	CHIEFTAIN MANZANITA	CONT.	#5	LOW	28
AR PA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	CONT.	#5	LOW	16
HE PA	HESPERALOE PARVIFLORA	RED YUCCA	CONT.	#5	VERY LOW	7
JU BR	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	CONT.	#5	LOW	36
JU CC	JUNIPERUS SABINA 'CALGARY CARPET' TM	CALGARY CARPET JUNIPER	CONT.	#5	LOW	55
JU SC	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	CONT.	#5	LOW	8
						<u>TOTAL</u>
						150

GROUND COVER	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	QTY
PR PB	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	CONT.	#5	LOW	363
RH AU	RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	CONT.	#5	VERY LOW	43
						<u>TOTAL</u>
						406

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	QTY
BO BA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	#1	VERY LOW	1,006
CA KF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	898
HE SE	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT.	#1	LOW	63
MI ML	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	CONT.	#1	MOD	256
MI VA	MISCANTHUS SINENSIS 'VARIEGATUS'	VARIEGATED MAIDEN GRASS	CONT.	#1	MOD	98
MU RE	MUHLENBERGIA REVERCHONI 'UNDAUNTED'	UNDAUNTED MUHLY	CONT.	#1	LOW	212
PA SH	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT.	#1	LOW	94
PE HA	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT.	#1	LOW	42
SC SC	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	235
SC ST	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION BLUESTEM GRASS	CONT.	#1	LOW	35
SP HE	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	LOW	95
						<u>TOTAL</u>
						3,034

PERENNIALS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	QTY
AC MO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1	LOW	18
AA AP	AGASTACHE RUPESTRIS 'APACHE SUNSET'	APACHE SUNSET THREADLEAF HYSSOP	CONT.	#1	LOW	55
CO MO	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	CONT.	#1	LOW	88
GE RZ	GERANIUM X 'GERWAT'	ROZANNE GERANIUM	CONT.	#1	MOD	118
HO KR	HOSTA X 'KROSSA REGAL'	KROSSA REGAL HOSTA	CONT.	#1	MOD	12
LI LI	LIATRIS LIGULISTYLIS	MEADOW BLAZING-STAR	CONT.	#1	LOW	59
LY AU	LYSIMACHIA NUMMULARIA 'AUREA'	GOLDEN CREEPING JENNY	15 GAL	#1	MOD	45
NE LI	NEPETA X 'PSFIKE' TM	LITTLE TRUDY CATMINT	CONT.	#1	LOW	34
NE WL	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT.	#1	LOW	141
OE MA	OENOTHERA MACROCARPA 'INCANA'	SILVER BLADE PRIMROSE	CONT.	#1	LOW	31
RU FU	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	35
SA MN	SALVIA X SYLVESTRIS 'MAINACHT'	MAY NIGHT SALVIA	CONT.	#1	MOD	35
						<u>TOTAL</u>
						671

NATIVE PRAIRIE MIX BY PAWNEE BUTTES SEED, INC.

COMMON NAME	% OF MIX	PLS/ACRE
WESTERN WHEATGRASS	20%	3.00
BLUE GRAMA	29%	4.35
BUFFALOGRASS	25%	3.75
SAND DROPSEED	1%	0.15
SIDEOATS GRAMA	20%	3.00
GREEN NEEDLEGRASS	5%	0.75
	<u>TOTAL 100%</u>	<u>15.00 PLS/ACRE</u>

*IF BROADCAST METHOD IS USED, RATES SHALL BE DOUBLED

SOD: VorTEX TEXAS HYBRID BLEND BY KORBY SOD, LLC

VorTEX TEXAS HYBRID BLUEGRASS BLEND

PBSI PRAIRIE WETLAND MIX BY PAWNEE BUTTES SEED, INC.

COMMON NAME	% OF MIX	PLS/ACRE
ALKALI BULRUSH	8.33%	0.83
CANADA WILDRYE	8.33%	0.83
SWITCHGRASS	8.33%	0.83
INDIANGRASS	8.33%	0.83
PRAIRIE CORDGRASS	8.33%	0.83
SOFT STEM RUSH	8.33%	0.83
THREE SQUARE BULRUSH	8.33%	0.83
HARDSTEM BULRIUSH	8.33%	0.83
NEBRASKA SEDGE	8.33%	0.83
BALTIC RUSH	8.33%	0.83
CREEPING SPIKERUSH	8.33%	0.83
WOOLY SEDGE	8.33%	0.83
	<u>TOTAL 100%</u>	<u>10.00 PLS/ACRE</u>

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UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 34 OF 87

NORRIS DESIGN
PEOPLE + PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.862.1166
NORRIS-DESIGN.COM

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

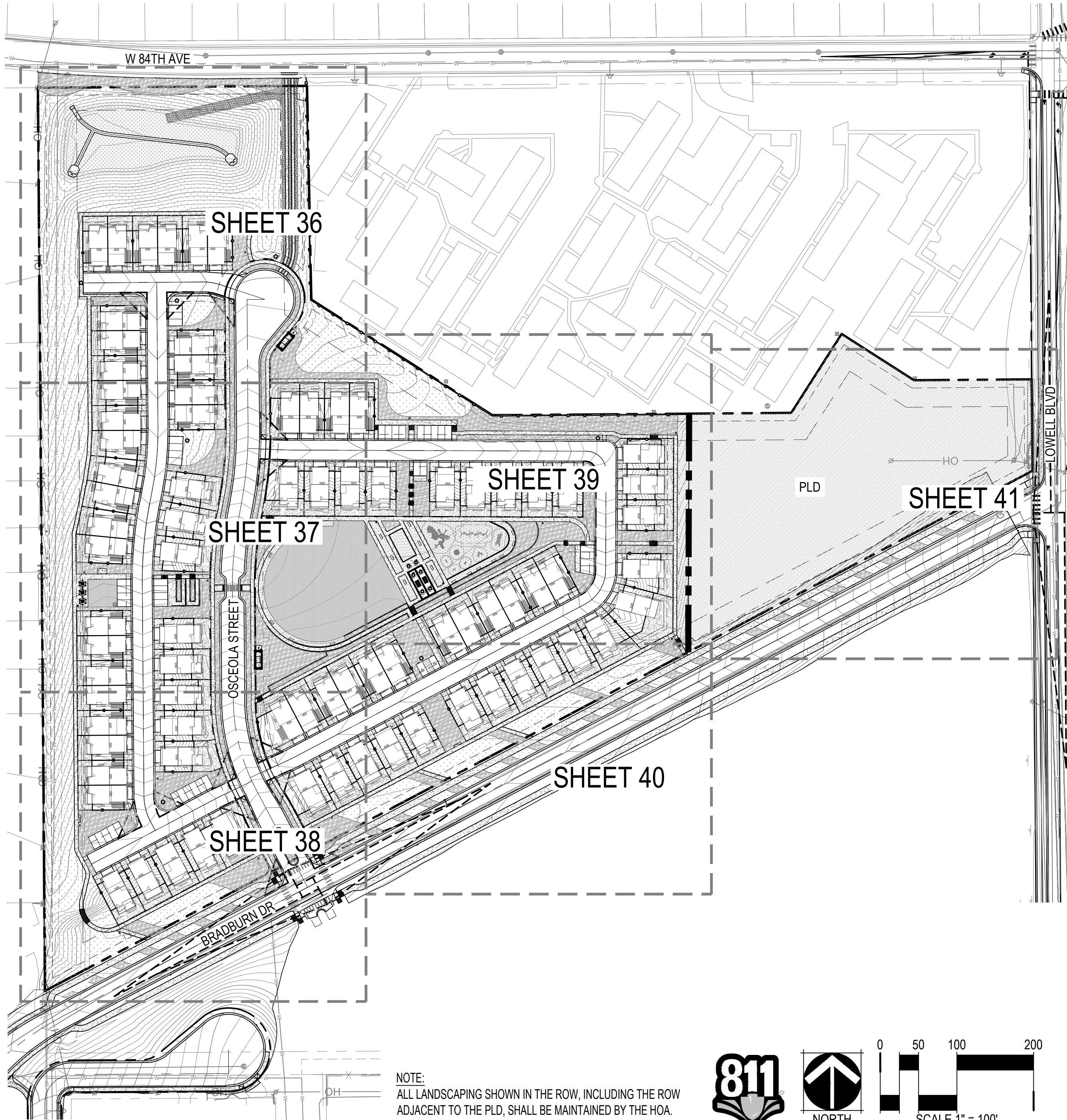
REVISIONS

SUB-02: 04.13.23

SUB-03: 06.07.23

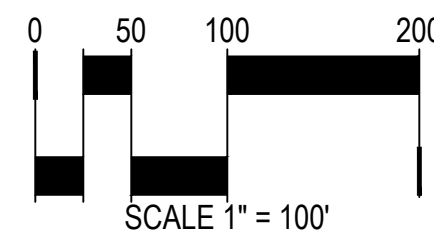
34 OF 87

OVERALL LANDSCAPE PLAN



- LEGEND
- SNOW STORAGE LOCATIONS
 - MATCH LINES
 - SITE BOUNDARY
 - PLD PROPERTY LINE
 - IRRIGATED TURF - SOD
 - NATIVE SEED
 - WOOD MULCH
 - TEMP-IRRIGATED NATIVE SEED
 - WETLAND SEED

NOTE:
ALL LANDSCAPING SHOWN IN THE ROW, INCLUDING THE ROW
ADJACENT TO THE PLD, SHALL BE MAINTAINED BY THE HOA.



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 A PLANNED UNIT DEVELOPMENT
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 SHEET 35 OF 87

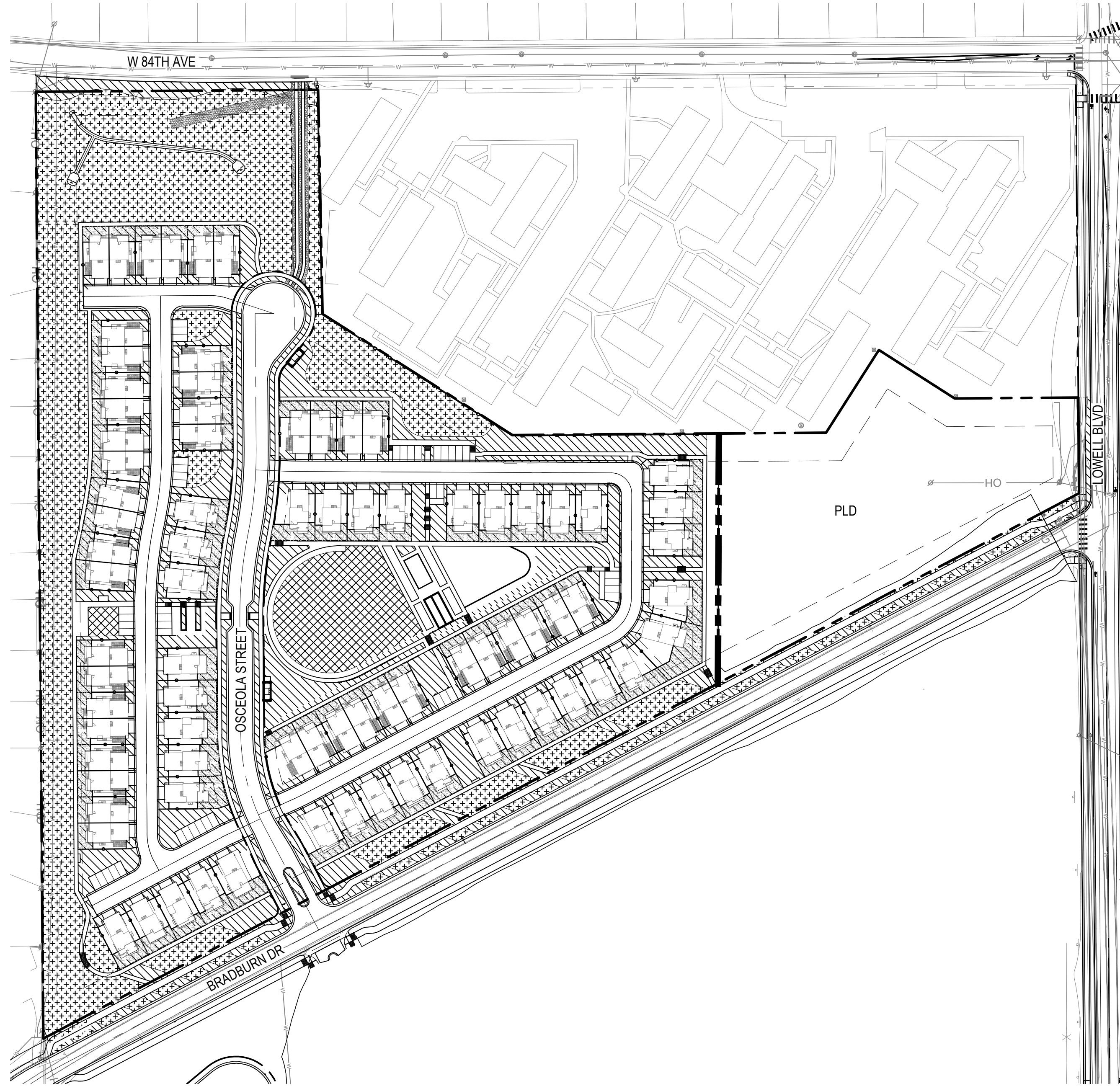
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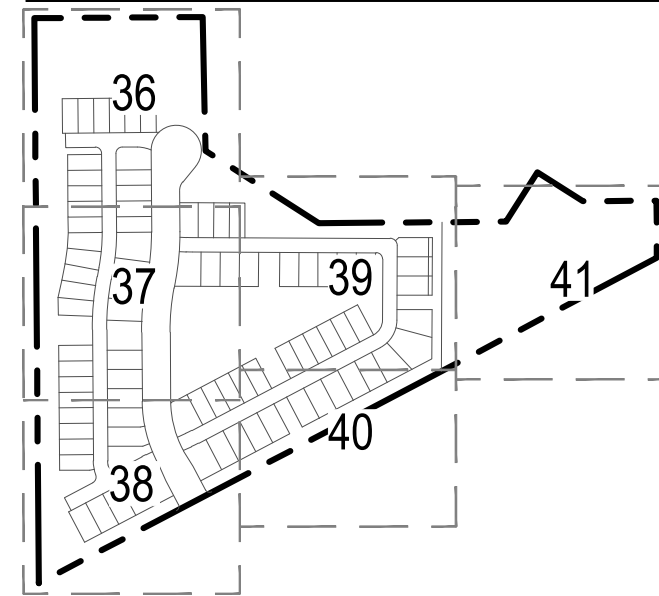
DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



KEY MAP



NOTES:

1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.
2. TOTAL LANDSCAPE AREA EXCLUDES ROW.
3. ALL IRRIGATION USES A POTABLE WATER SOURCE.

LEGEND

- LOW WATER USE
- MODERATE WATER USE
- HIGH WATER USE
- SITE BOUNDARY
- PLD PROPERTY LINE

LANDSCAPE WATER BUDGET

LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH	7.1	22,116	X 18 GAL = 398,088
MEDIUM	44.7	139,577	X 10 GAL = 1,395,770
LOW	48.2	150,579	X 3 GAL = 451,737
TOTAL ALL HYDROZONES:	100	312,272	TOTAL GAL: 2,245,595

TOTAL GAL / TOTAL LANDSCAPED AREA = 7.2 GAL / SF



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SHEET 36 OF 87

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UPLANDS

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WESTMINSTER, COLORADO

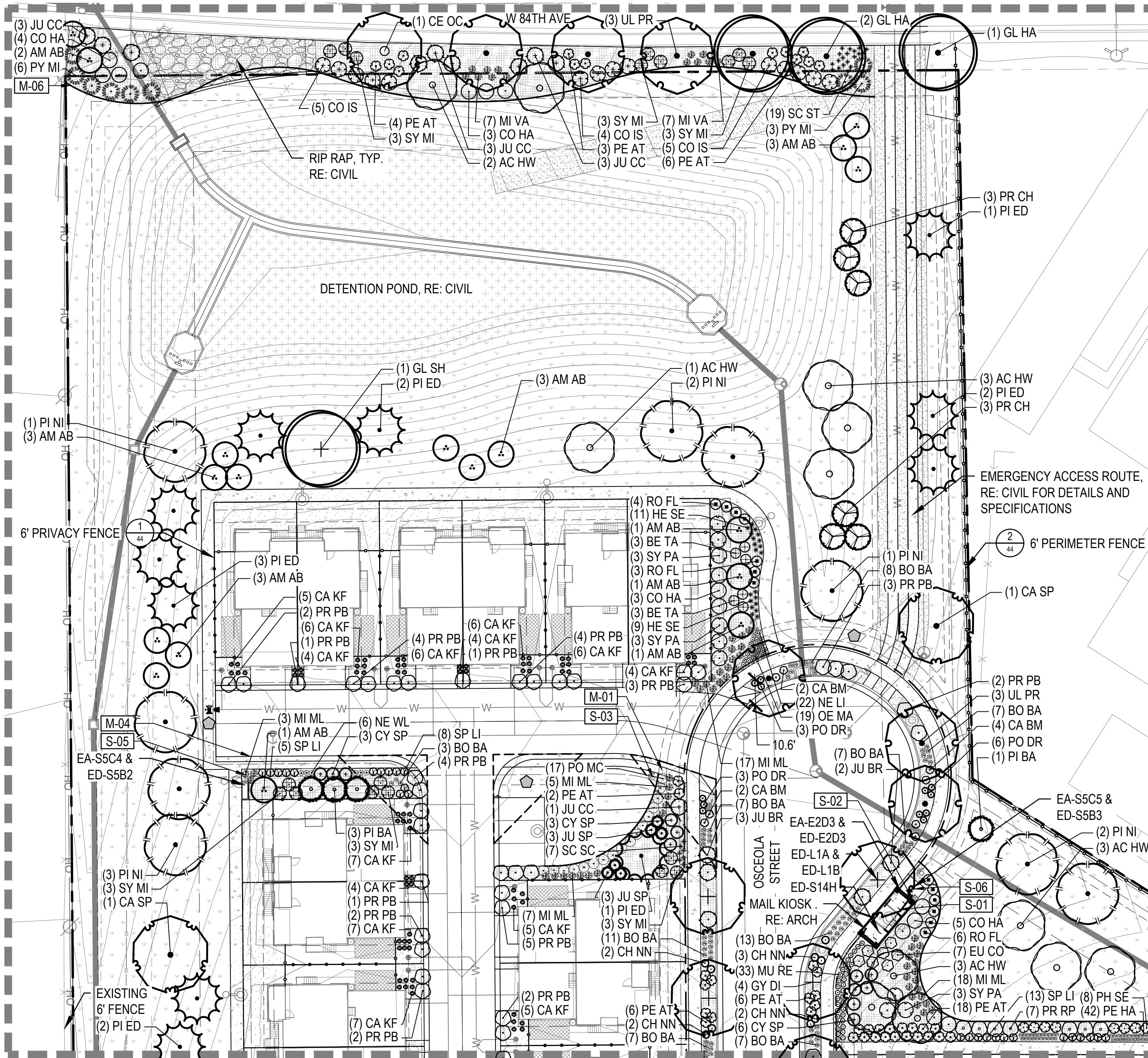
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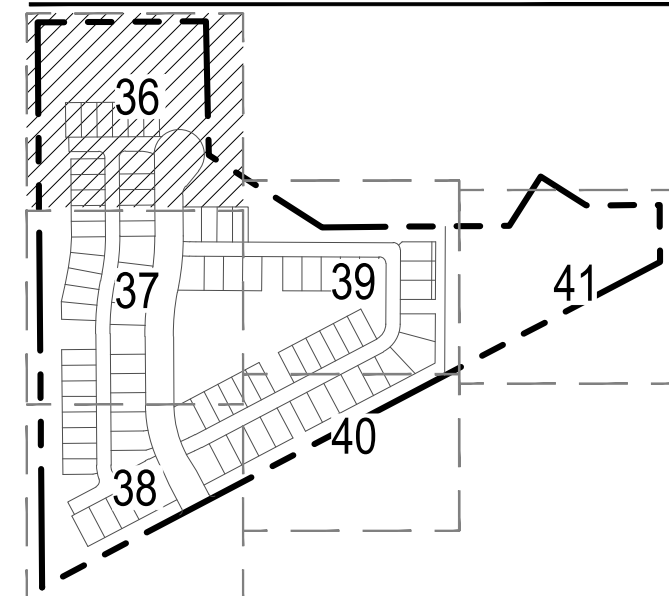
SUB-02: 04.13.23

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LANDSCAPE PLAN



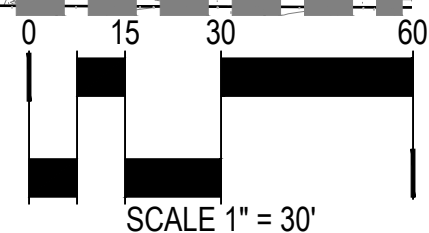
KEY MAP



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- ON-LOT LANDSCAPE AREA (BUILDER)
- PLAY SURFACE
- NATIVE SEED
- LANDSCAPE BED - WOOD MULCH
- WETLAND NATIVE SEED
- PLD AREA
- CRUSHER FINES
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- PERIMETER FENCE
- PRIVACY FENCE
- SIGHT TRIANGLE
- PLD PROP LINE
- STEEL EDGER
- WATER LINE, RE: CIVIL
- SANITARY LINE, RE: CIVIL
- GAS LINE, RE: CIVIL
- JOINT TRENCH, RE: CIVIL
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- MATCHLINE
- PRIVATE PARK BOUNDARY

- NOTES:
- ALL LANDSCAPING SHOWN IN THE ROW, INCLUDING THE ROW ADJACENT TO THE PLD, SHALL BE MAINTAINED BY THE HOA.
 - ALL TREES WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED TO 8'-0" MIN. BRANCHING HEIGHT.



SCALE 1" = 30'

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UPLANDS - FILING NO. 2 - BLOCK 1
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SHEET 37 OF 87

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UPLANDS

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WESTMINSTER, COLORADO

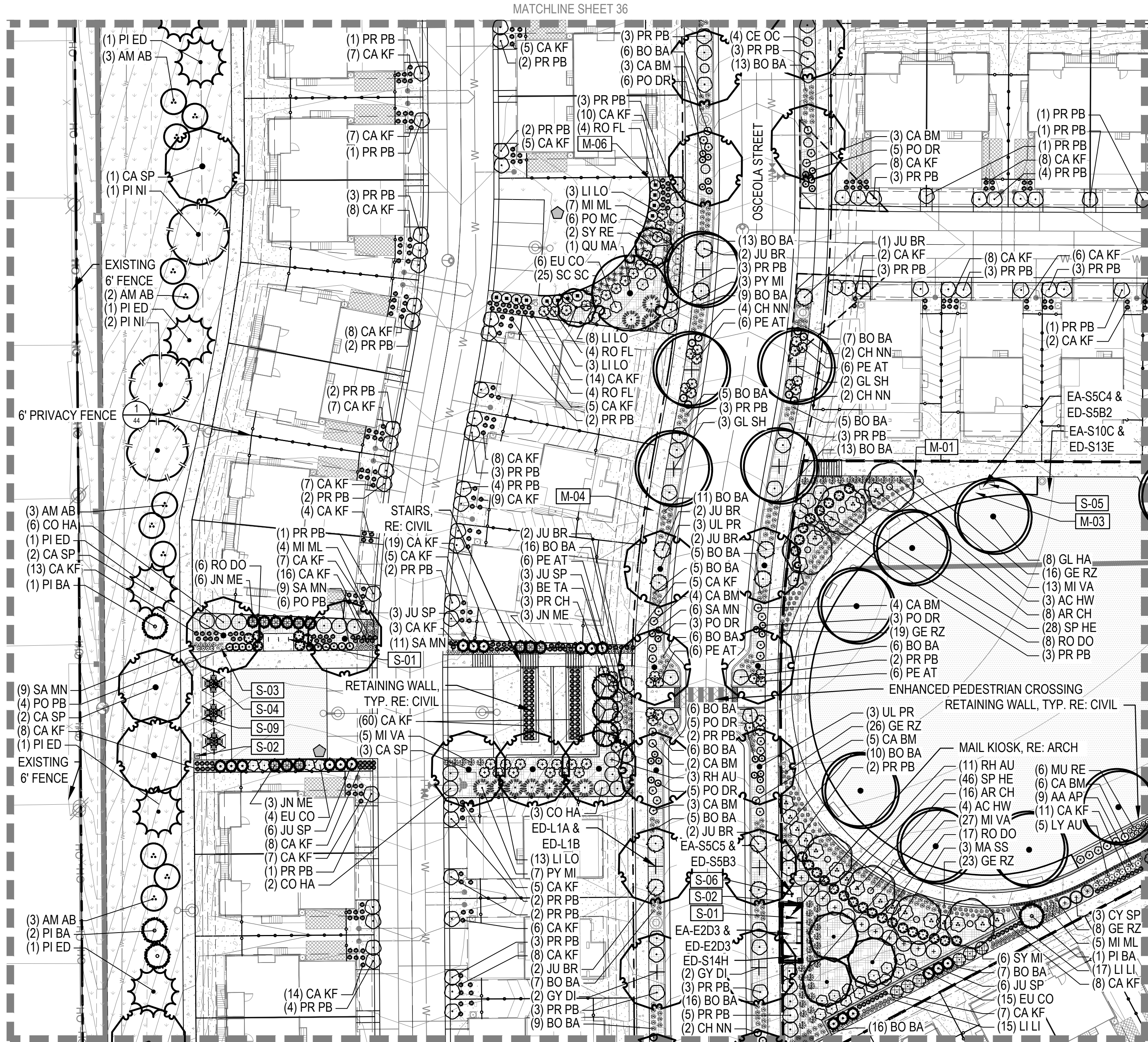
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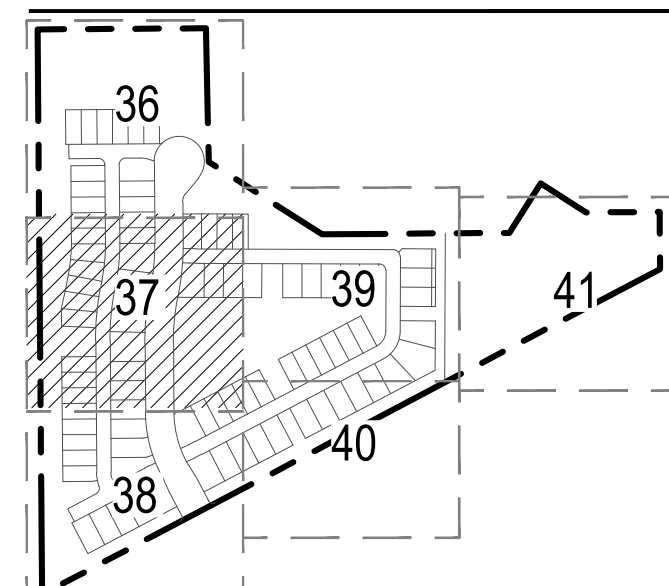
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LANDSCAPE PLAN



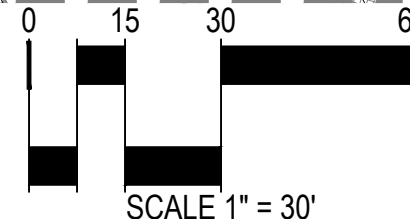
KEY MAP



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
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- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- ON-LOT LANDSCAPE AREA (BUILDER)
- PLAY SURFACE
- NATIVE SEED
- LANDSCAPE BED - WOOD MULCH
- WETLAND NATIVE SEED
- PLD AREA
- CRUSHER FINES
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- PROPERTY LINE
- UTILITY EASEMENT
- PERIMETER FENCE
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- SIGHT TRIANGLE
- PLD PROP LINE
- STEEL EDGER
- WATER LINE, RE: CIVIL
- SANITARY LINE, RE: CIVIL
- GAS LINE, RE: CIVIL
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- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- MATCHLINE
- PRIVATE PARK BOUNDARY

- NOTES:
- ALL LANDSCAPING SHOWN IN THE ROW, INCLUDING THE ROW ADJACENT TO THE PLD, SHALL BE MAINTAINED BY THE HOA.
 - ALL TREES WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED TO 8'-0" MIN. BRANCHING HEIGHT.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 38 OF 87

NORRIS DESIGN
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DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN

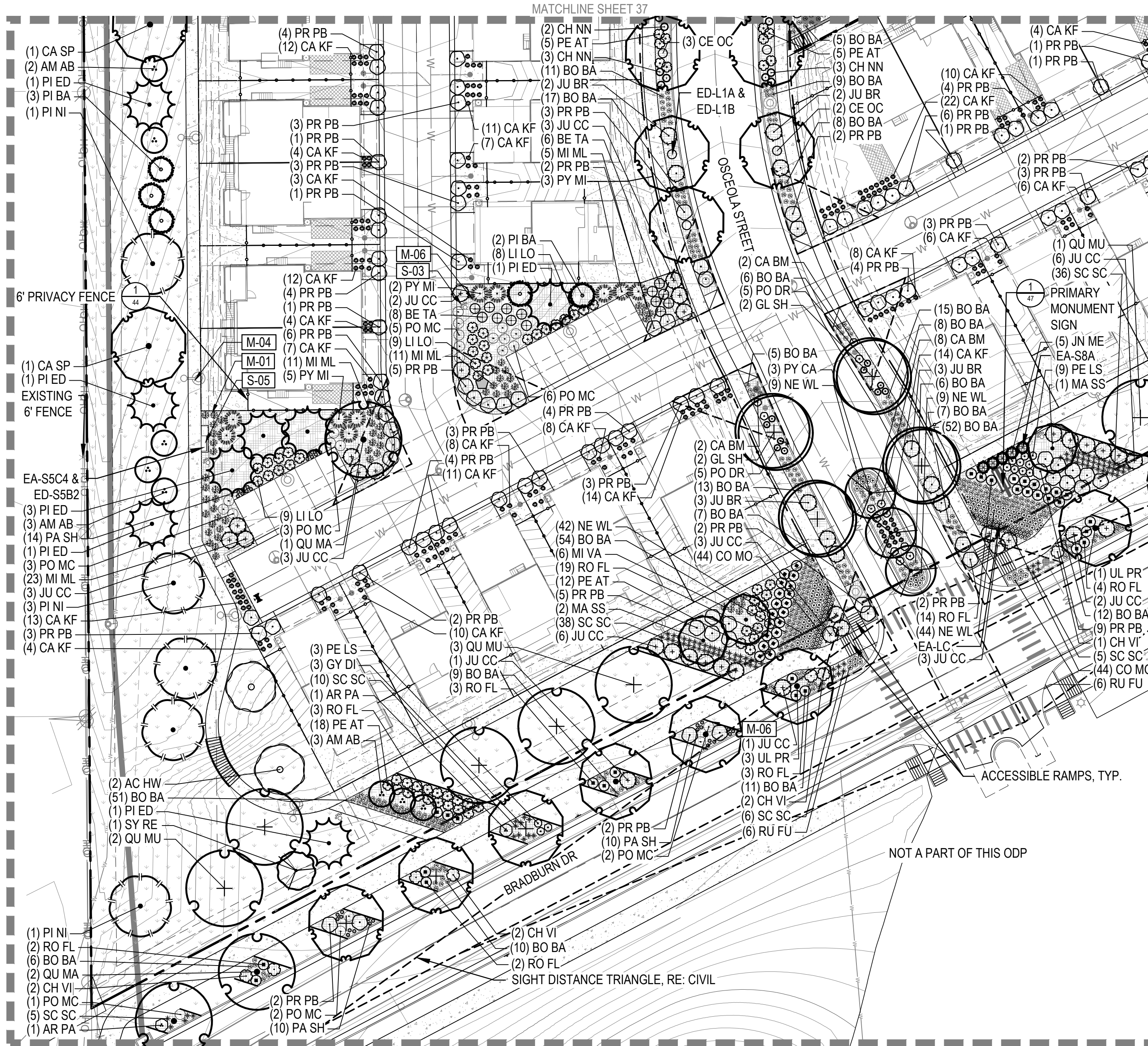
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

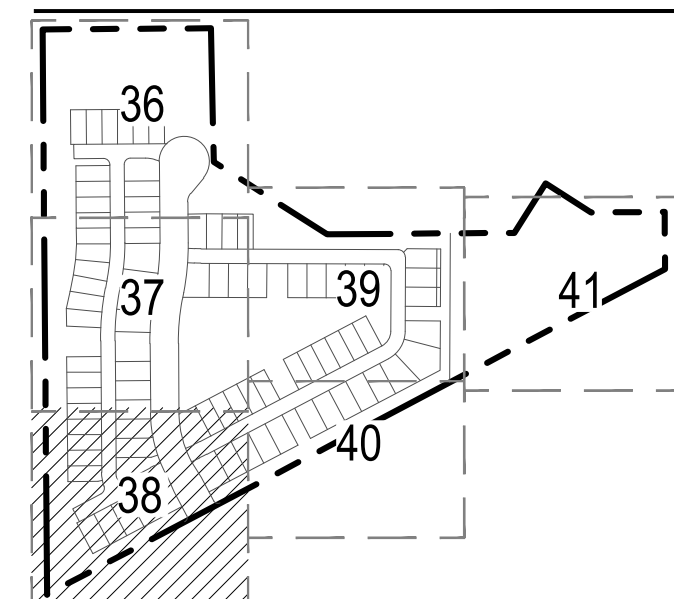
REVISIONS

SUB-02: 04.13.23
SUB-03: 06.07.23

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LANDSCAPE PLAN



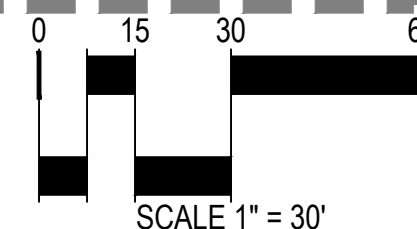
KEY MAP



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
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OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 2 - BLOCK 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
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OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

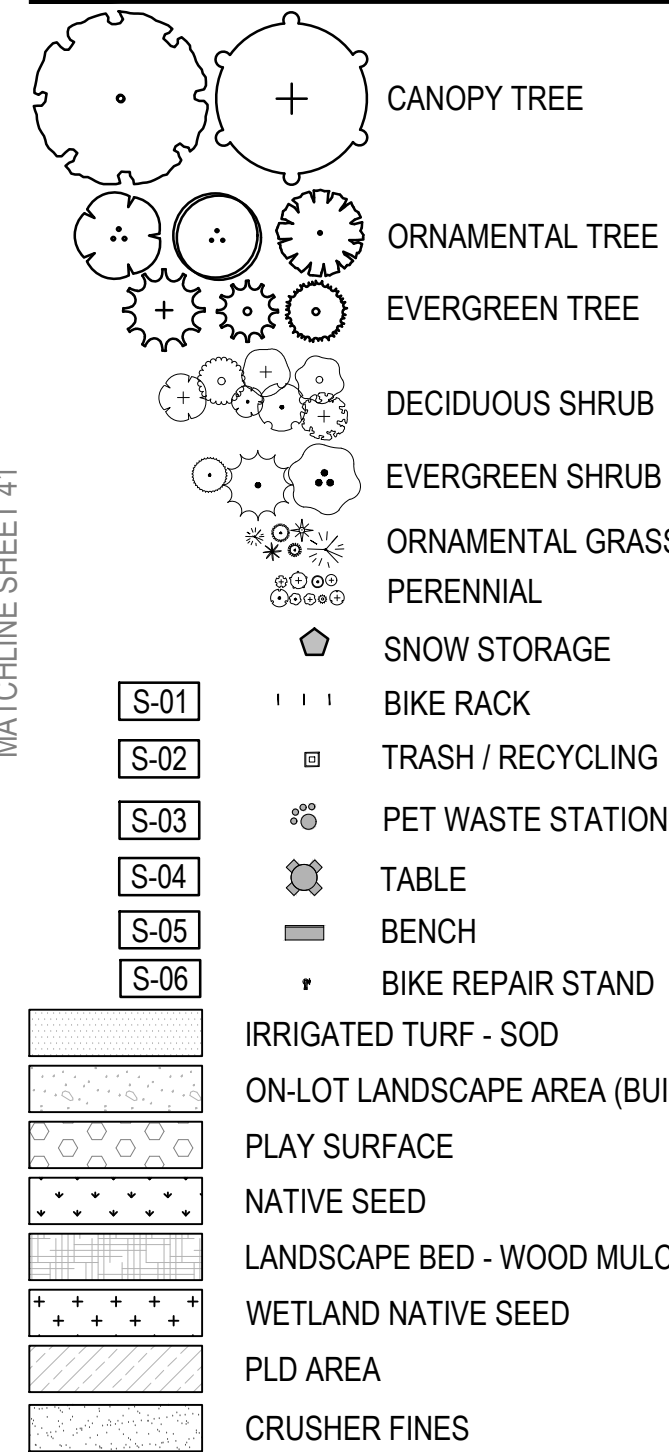
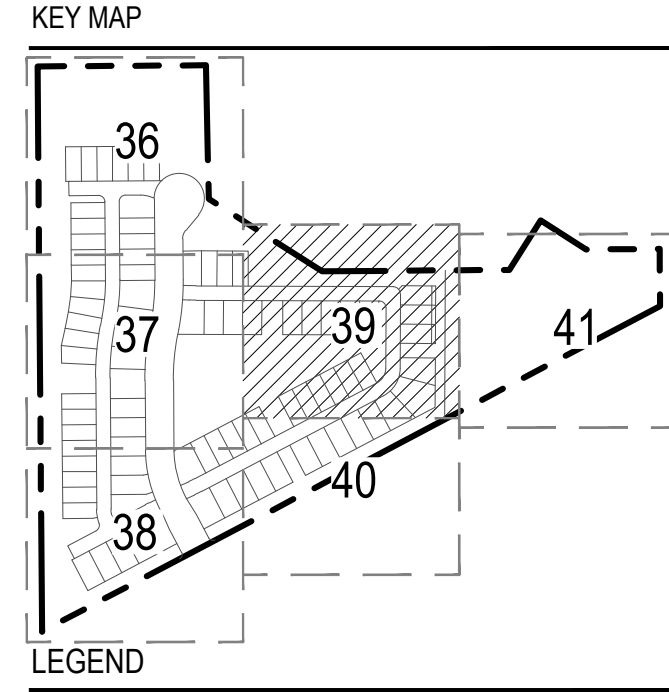
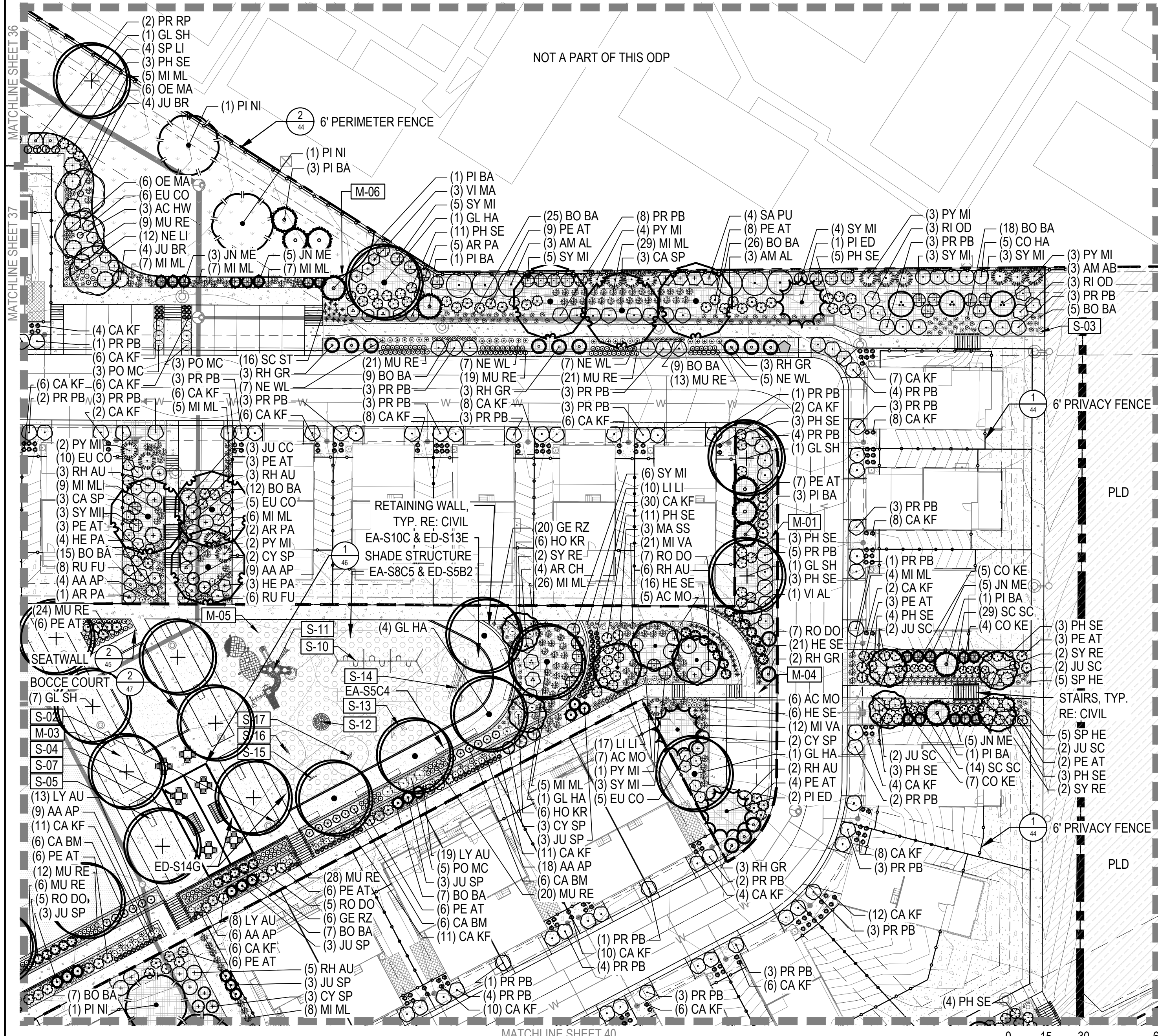
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

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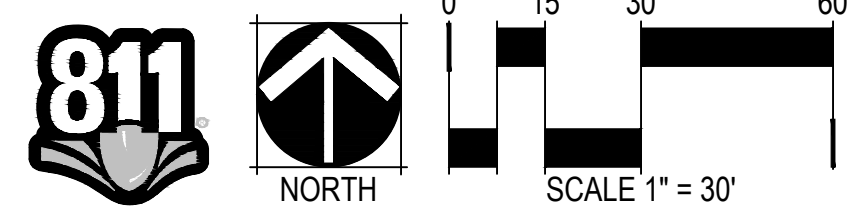
SUB-02: 04.13.23

SUB-03: 06.07.23

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LANDSCAPE PLAN



NOTES:
1. ALL LANDSCAPING SHOWN IN THE ROW, INCLUDING THE ROW ADJACENT TO THE PLD, SHALL BE MAINTAINED BY THE HOA.
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 40 OF 87



UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

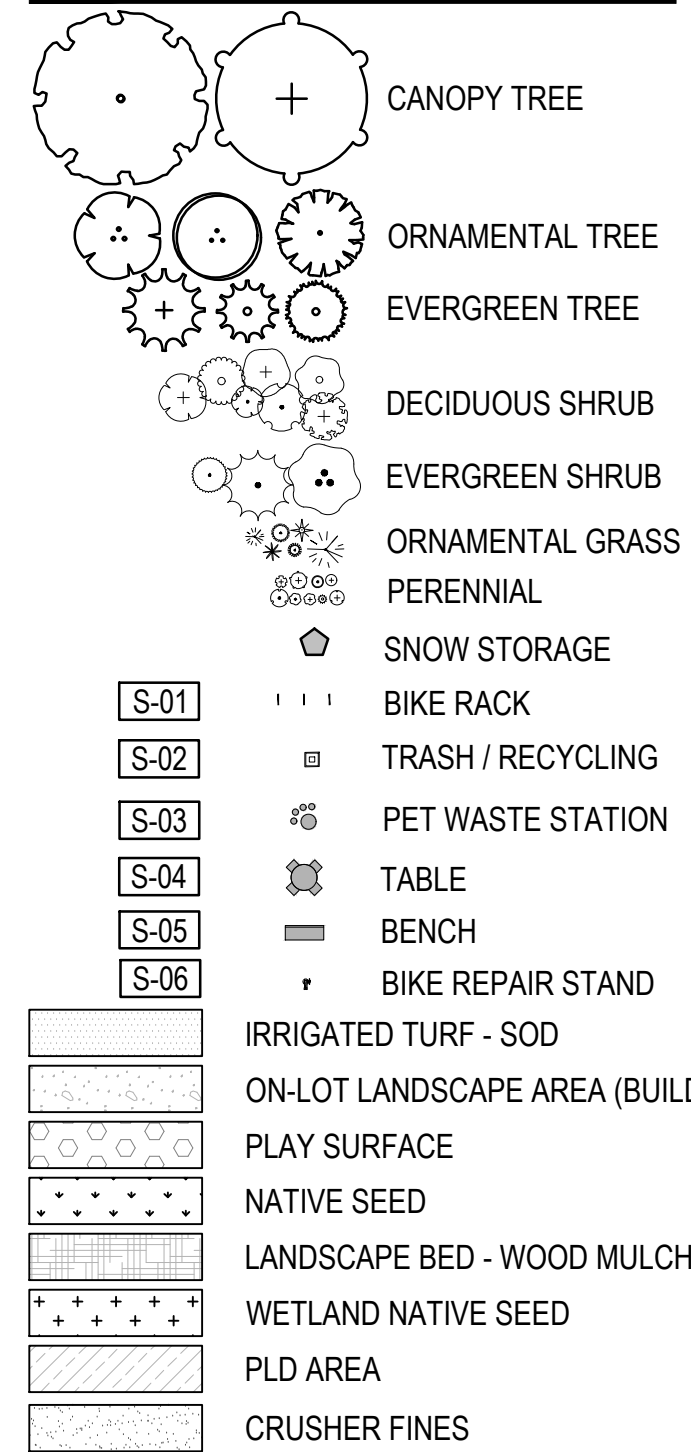
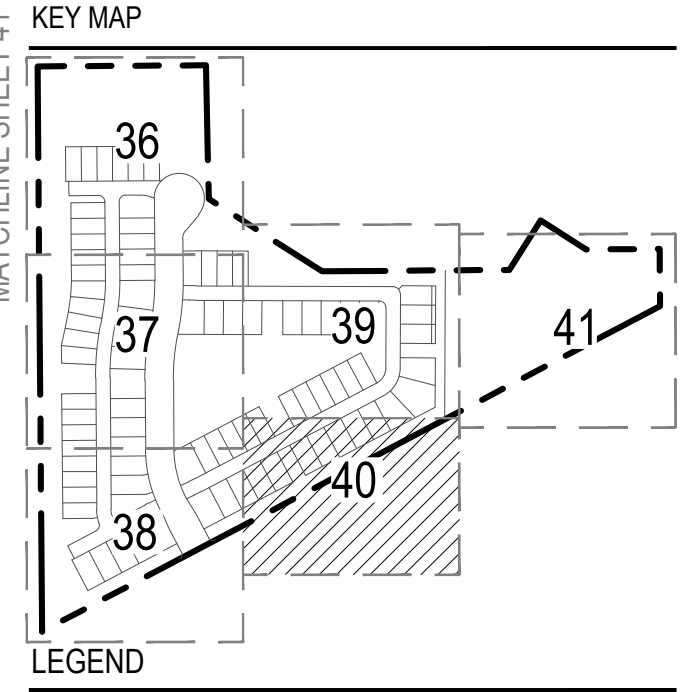
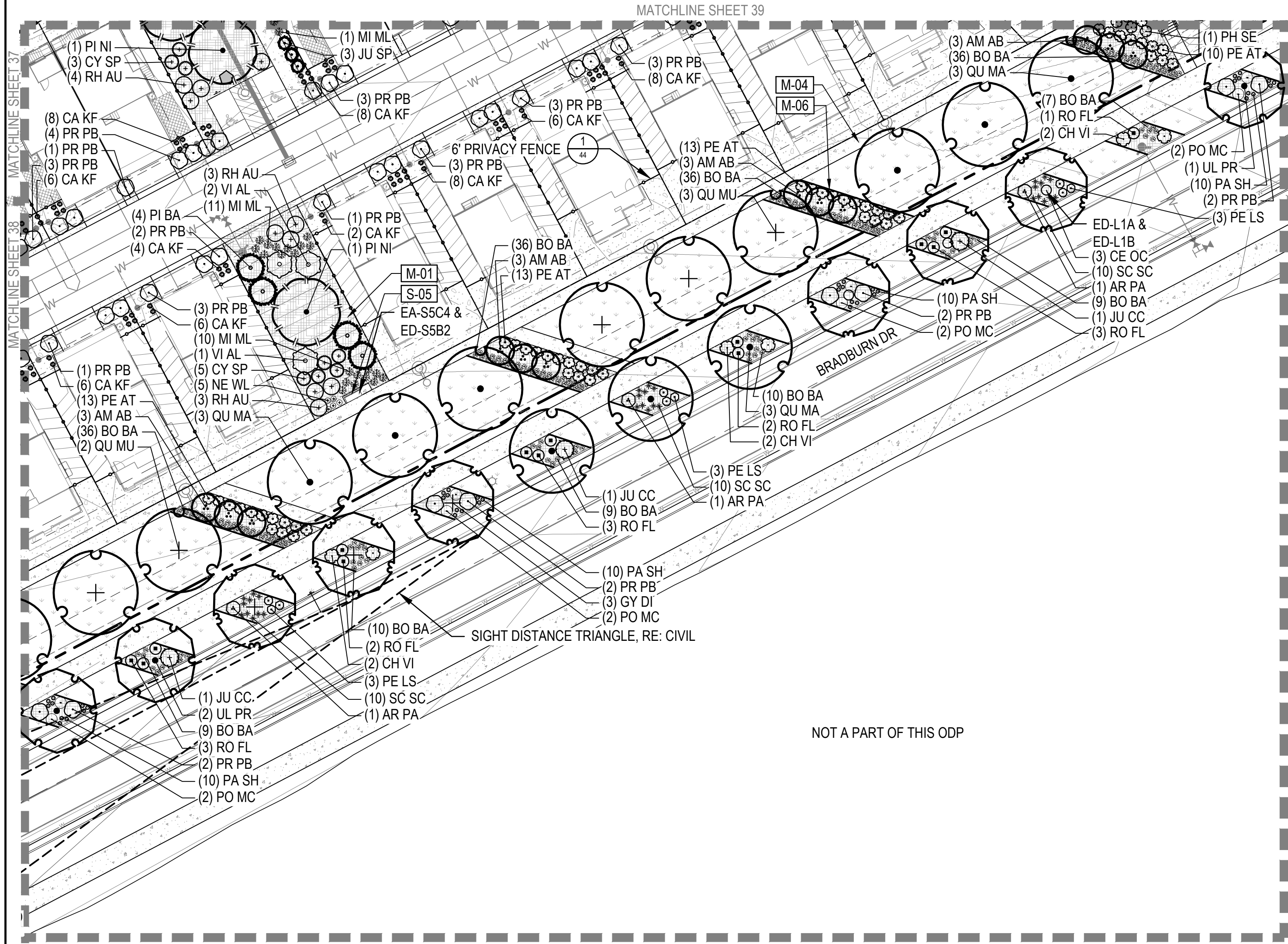
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

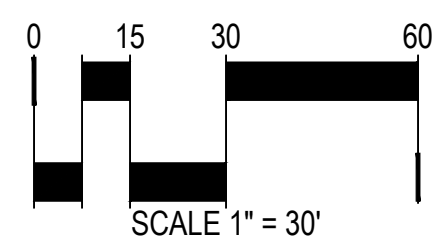
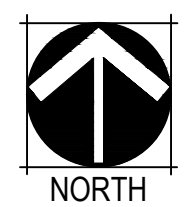
SUB-03: 06.07.23

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LANDSCAPE PLAN



NOTES:
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NOT A PART OF THIS ODP



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
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SHEET 41 OF 87

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OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

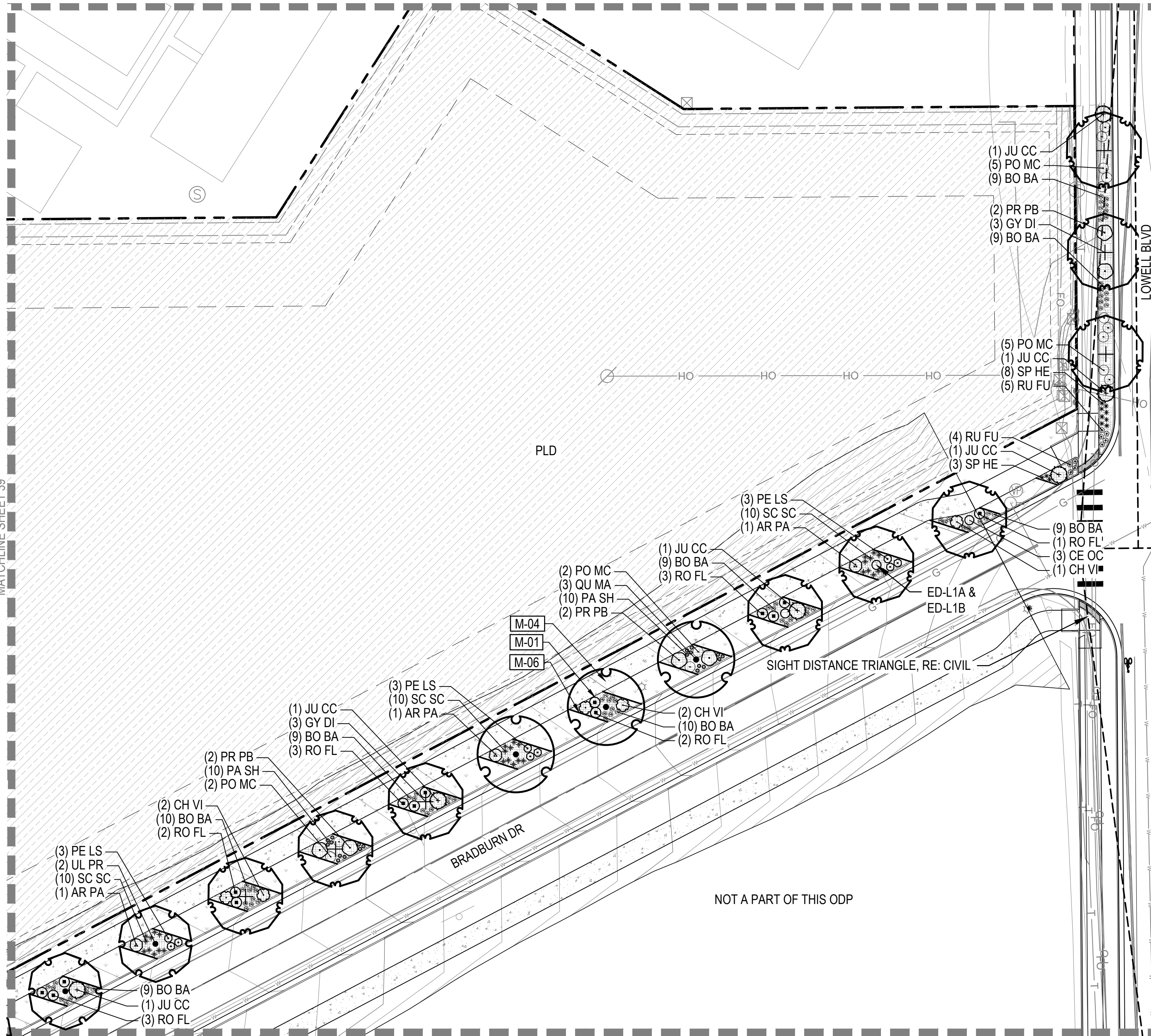
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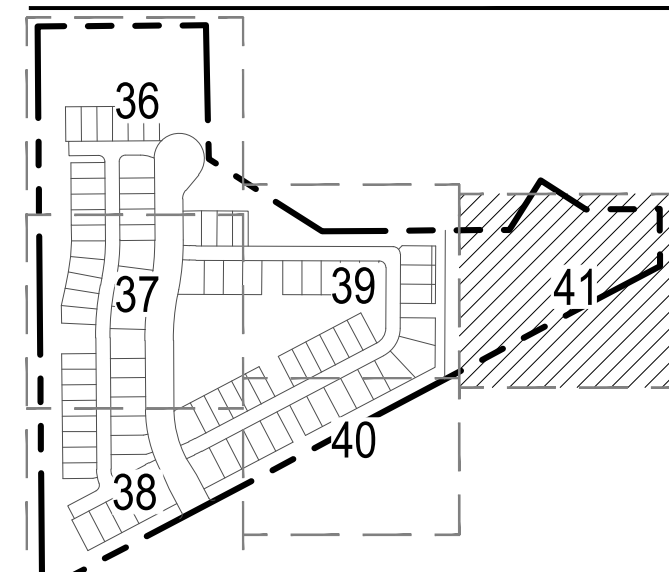
SUB-02: 04.13.23

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LANDSCAPE PLAN



KEY MAP

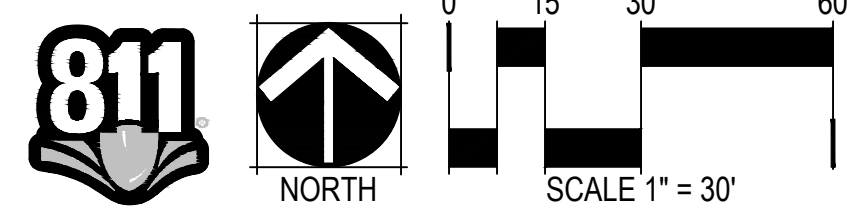


LEGEND

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MATCHLINE SHEET 39

NOTE:
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UPLANDS - FILING NO. 2 - BLOCK 1
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SHEET 42 OF 87

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DATE: 06.07.2023

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OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23
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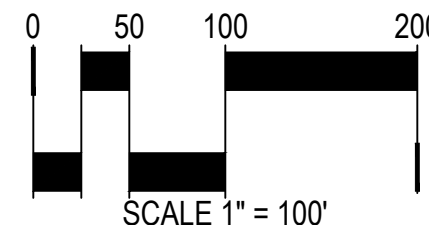
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FENCING PLAN

LEGEND

- SITE BOUNDARY
- PLD PROPERTY LINE
- PRIVACY FENCE
- PERIMETER FENCE

NOTES:

1. THE COMMON LOT FENCE WILL BE CONSTRUCTED BY THE HOME BUILDER AND WILL BE MAINTAINED / REPLACED BY THE HOA.
2. PERIMETER FENCE MASONRY COLUMNS TO BE SPACED AT MAXIMUM 65' O.C.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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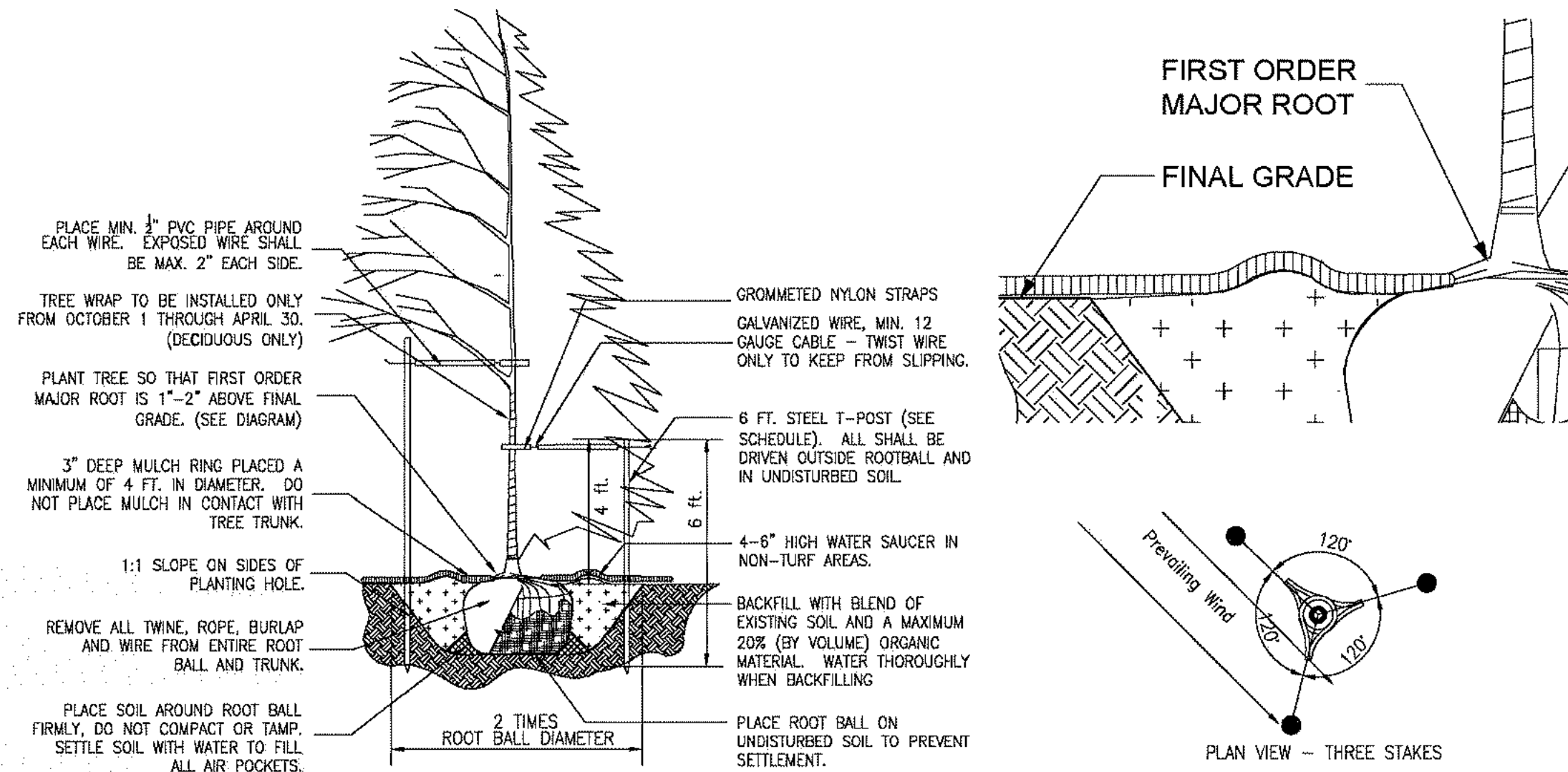
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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE.

TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)

PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE. (SEE DIAGRAM)

3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK.

PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.

GROMMETED NYLON STRAPS GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.

6 FT. STEEL T-POST (SEE SCHEDULE). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.

4-6" HIGH WATER SAUCER IN NON-TURF AREAS.

BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING.

PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

PRUNING NOTES:

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:

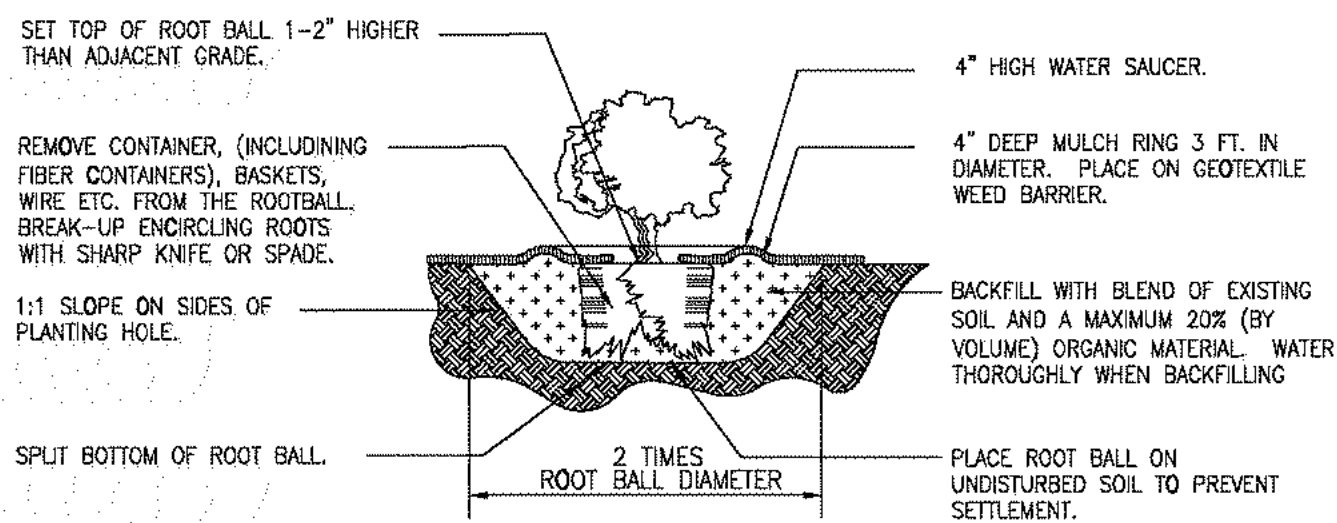
1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).

1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.

3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM

WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

1 TREE PLANTING DETAIL
 NOT TO SCALE



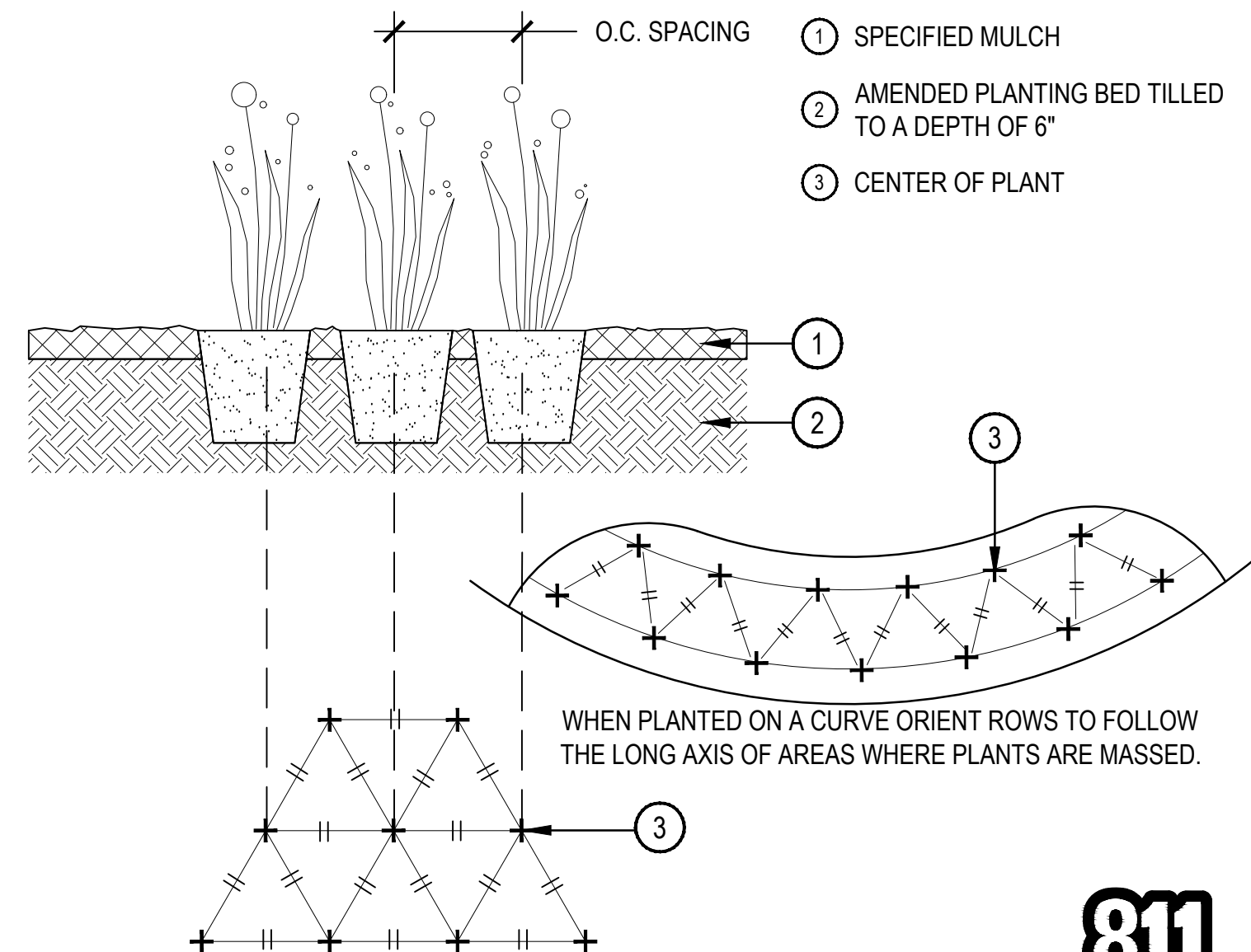
PLACEMENT NOTES:

SET SHRUB PLUMB. SPACE PLANTS, AND PLACE FOR BEST EFFECT.

PRUNING NOTES:

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.

2 SHRUB PLANTING DETAIL
 NOT TO SCALE



3 PERENNIAL PLANT LAYOUT
 SCALE: 1" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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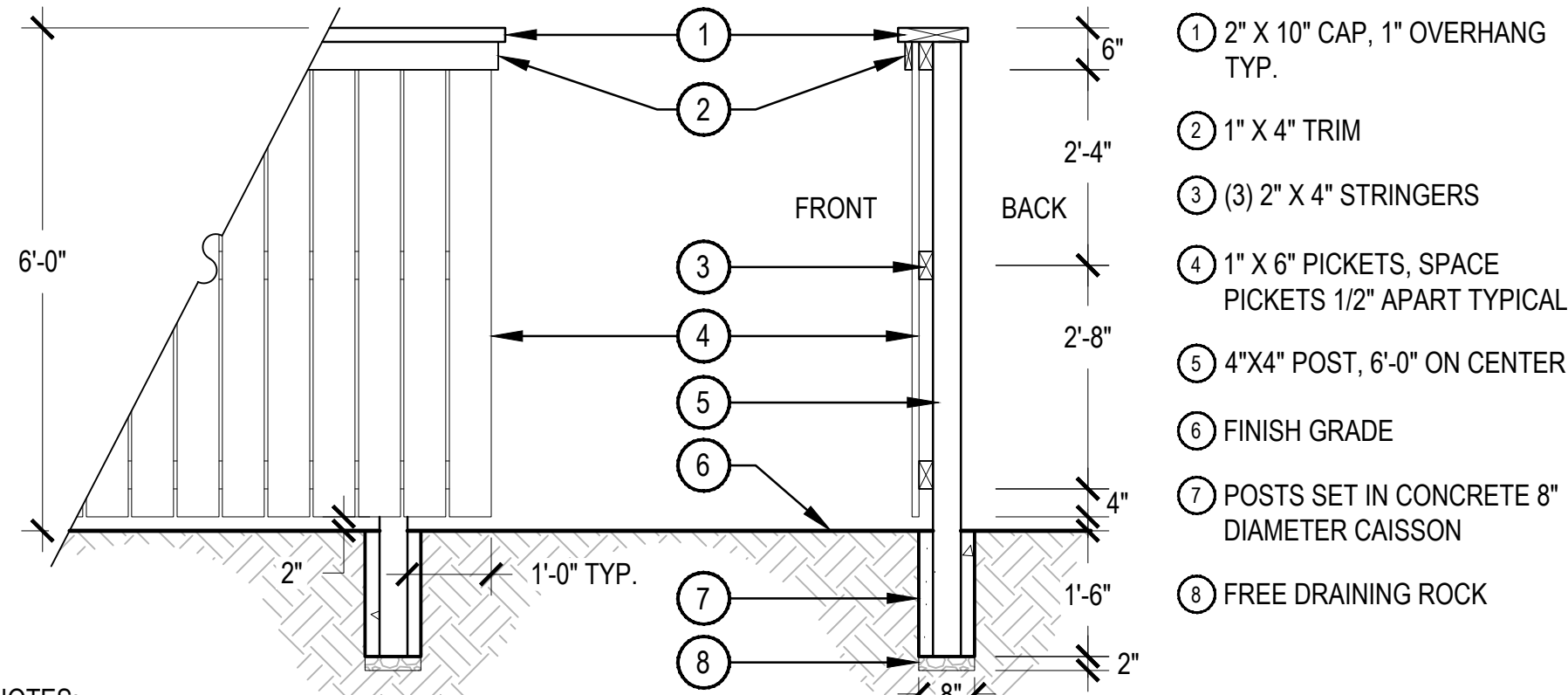
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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



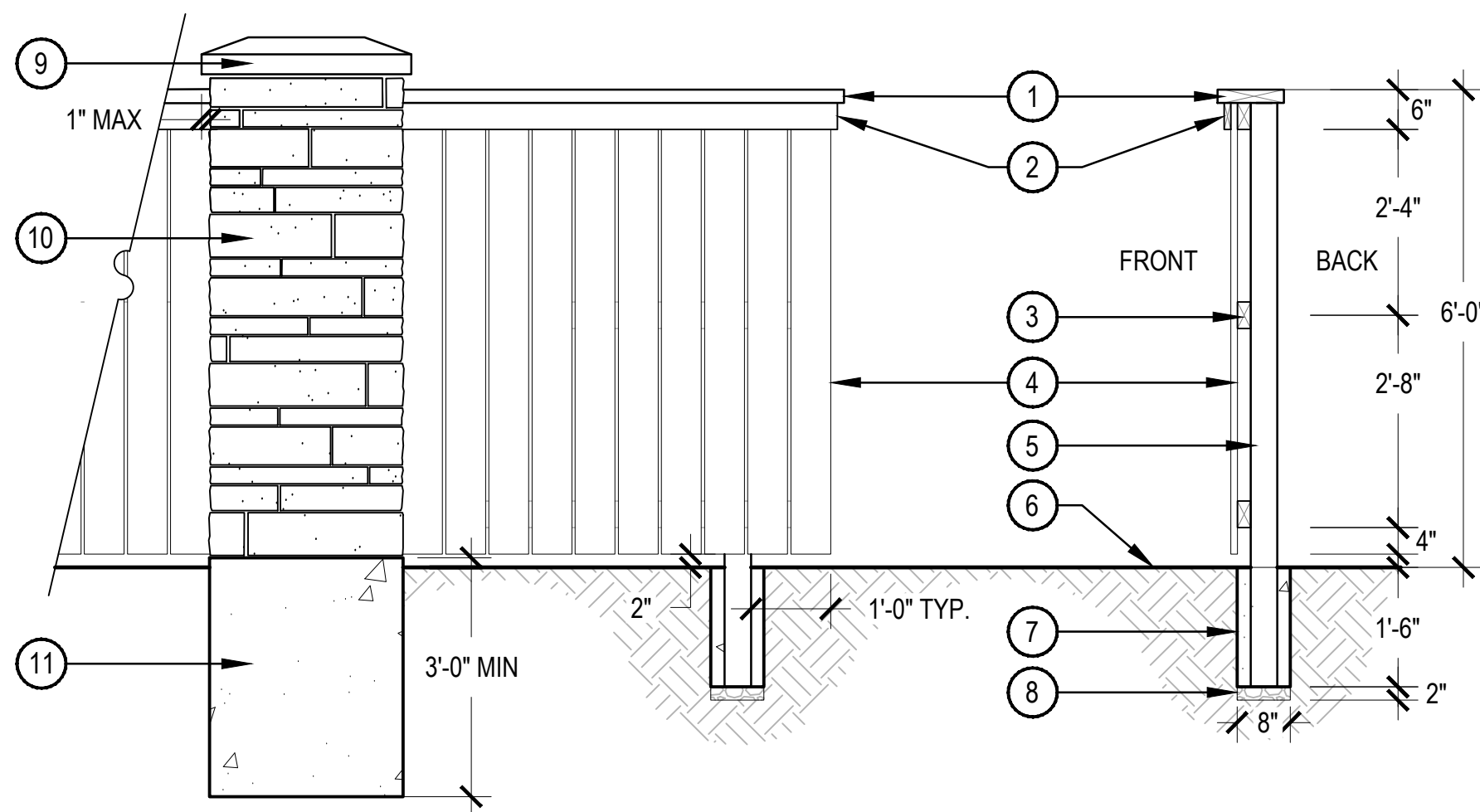
- ① 2" X 10" CAP, 1" OVERHANG TYP.
- ② 1" X 4" TRIM
- ③ (3) 2" X 4" STRINGERS
- ④ 1" X 6" PICKETS, SPACE PICKETS 1/2" APART TYPICAL
- ⑤ 4"X4" POST, 6'-0" ON CENTER
- ⑥ FINISH GRADE
- ⑦ POSTS SET IN CONCRETE 8" DIAMETER CAISSON
- ⑧ FREE DRAINING ROCK

NOTES:

1. UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE. FRONT AND REAR LOT WING FENCING SHALL BE SET BACK TO THE FRONT AND BACK FACE OF BUILDING RESPECTIVELY AT A MINIMUM.
2. ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION.
3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
4. ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

1 6' PRIVACY FENCE

SCALE: 1/2" = 1'-0"



NOTES:

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5. PERIMETER FENCE MASONRY COLUMNS TO BE SPACED AT MAXIMUM 65' O.C.

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- ⑤ 4"X4" POST, 6'-0" ON CENTER
- ⑥ FINISH GRADE
- ⑦ POSTS SET IN CONCRETE 8" DIAMETER CAISSON
- ⑧ FREE DRAINING ROCK
- ⑨ MASONRY COLUMN, PRECAST CONCRETE TAN CAP STONE
- ⑩ STONE VENEER TO MATCH ARCHITECTURE
- ⑪ STRUCTURAL FOOTINGS BY CONTRACTOR AND STRUCTURAL ENGINEER, 2% SLOPE MINIMUM ON EXPOSED CONCRETE TO DRAIN AWAY FROM POST

2 6' PERIMETER FENCE

SCALE: 1/2" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

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UPLANDS - FILING NO. 2 - BLOCK 1
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 SHEET 45 OF 87

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UPLANDS

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UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

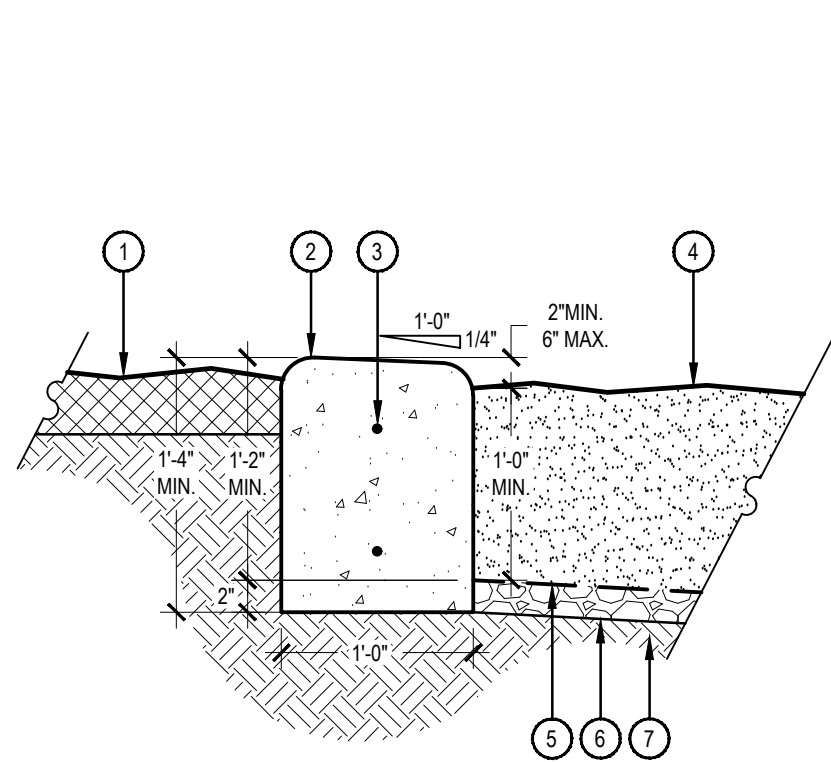
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

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SUB-02: 04.13.23

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 LANDSCAPE DETAILS

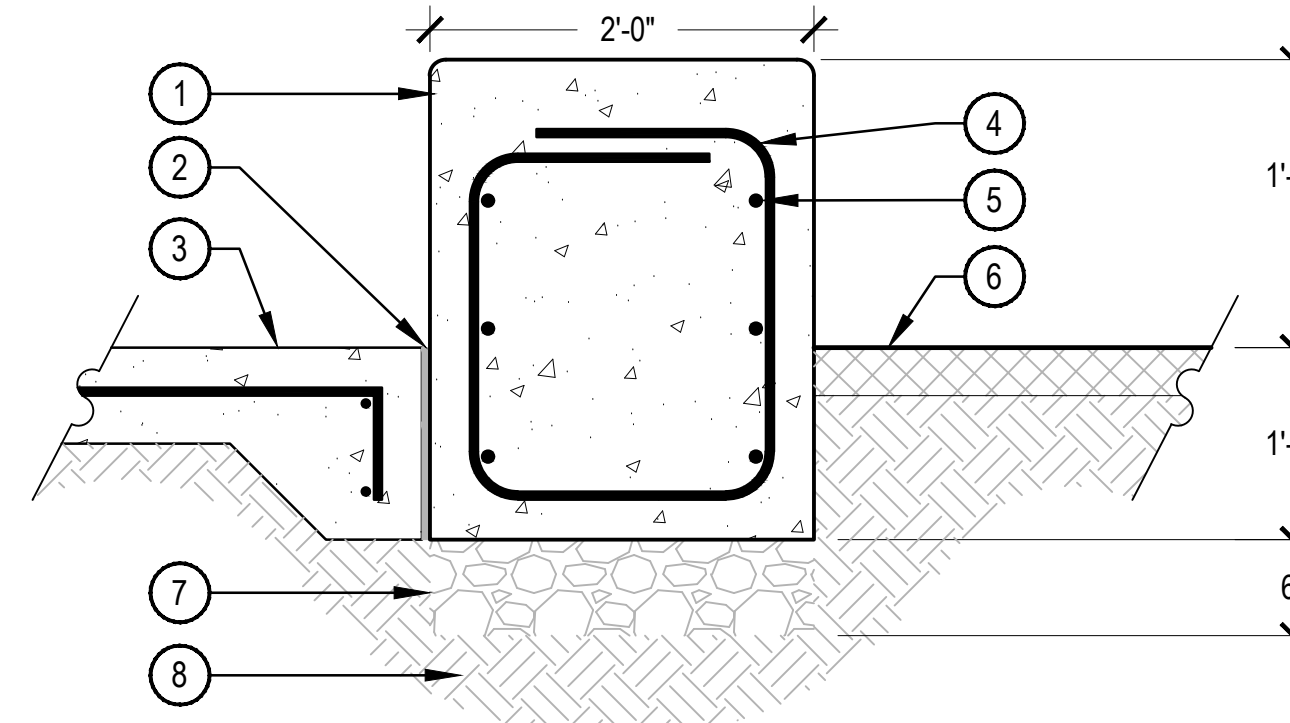


- ① ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
- ② CONCRETE CURB, 2" RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND
- ③ (2) #4 REBAR 24" ON CENTER
- ④ ENGINEERED WOOD FIBER SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET 14
- ⑤ GEOTEXTILE FILTER / DRAINAGE MAT
- ⑥ 3/4" WASHED GRAVEL
- ⑦ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTES:

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,500 PSI AT 28 DAYS.
2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%, REFER TO LAYOUT PLAN.
3. SCORE JOINTS SHALL BE SPACES 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.
4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

1 FREE STANDING CONCRETE PLAYGROUND CURB
 SCALE: 1" = 1'-0"

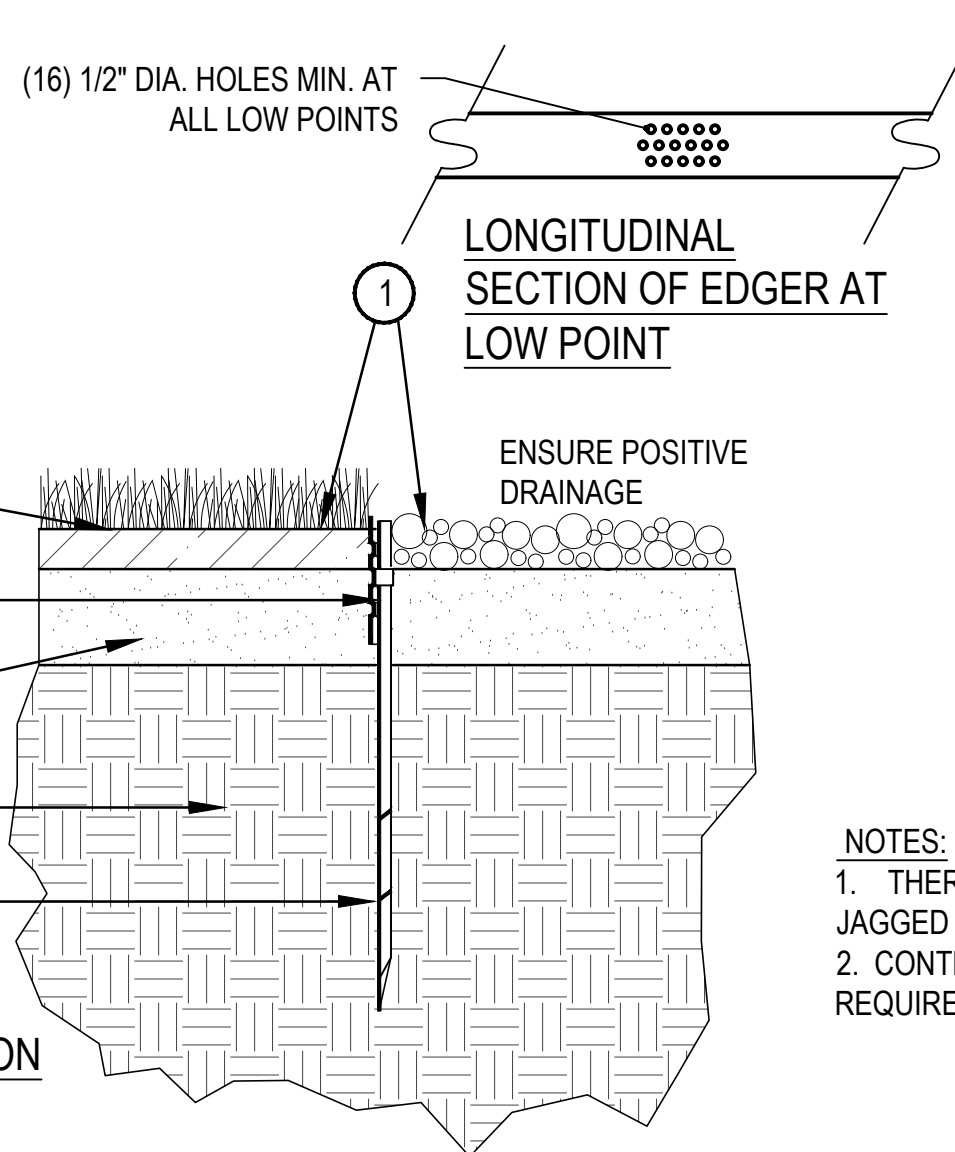


- ① CONCRETE SEATWALL, 1" RADIUS ON ALL EXPOSED CORNER, REFER TO MATERIAL SCHEDULE, SHEET L-XXX, FOR FINISH
- ② EXPANSION JOINT
- ③ SURROUNDING HARDSCAPE, REFER TO DETAIL X, SHEET L-XXX
- ④ #4 REBAR LOOP, 24" ON CENTER DOWN EACH FACE OF WALL
- ⑤ (3) #6 REBAR EQUALLY SPACED (VERTICALLY) ON EACH SIDE, CONTINUOUS DOWN LENGTH OF WALL, OVERLAP SPLICES 12"
- ⑥ SURROUNDING LANDSCAPE, REFER TO PLANS
- ⑦ COMPACTED AGGREGATE BASE
- ⑧ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTES:

1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE, THIS DETAIL HAS NOT BEEN ENGINEERED.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.
3. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
4. VERTICAL CONTROL JOINTS SHALL BE 10' ON CENTER WITH EXPANSION JOINTS 50' ON CENTER, UNLESS OTHERWISE NOTED.
5. VERTICAL FACES OF WALL SHALL BE PLUMB, WITH NO INCONSISTENCIES GREATER THAN 1/4" IN 10'-0" MEASURED IN ANY DIRECTION ALONG THE FACE OF THE WALL.
6. SEATWALL SHALL BE INSTALLED SO HORIZONTAL CURVES ARE SMOOTH AND FREE-FLOWING AS SHOWN ON PLANS.

2 FREESTANDING CONCRETE SEATWALL
 SCALE: 1" = 1'-0"

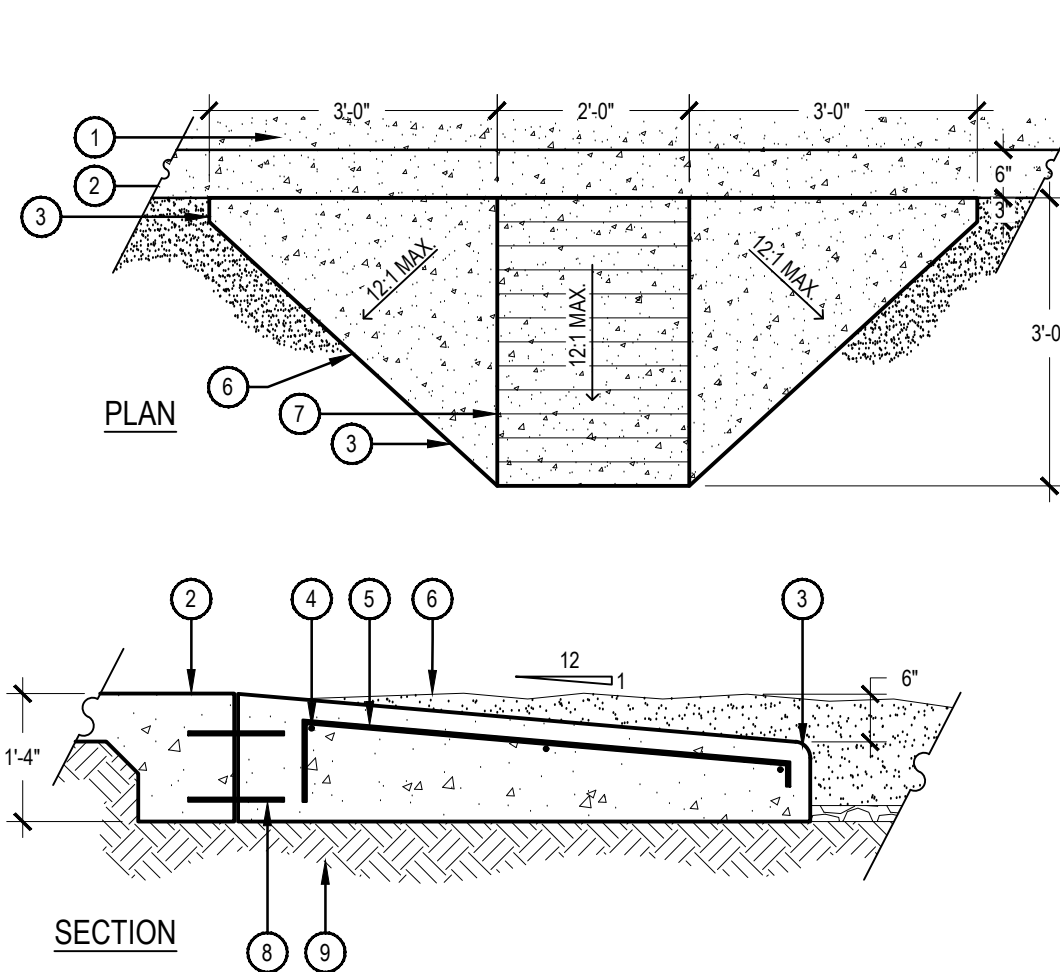


- ① FINISHED GRADE - TOP OF SOIL THATCH LAYER AND TOP OF MULCH SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ SUBGRADE
- ⑤ STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ EDGER STAKE

NOTES:

1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

3 STEEL EDGER
 SCALE: 1" = 1'-0"



- ① CONCRETE WALK
- ② MONOLITHIC CONCRETE CURB, REFER TO DETAIL THIS SHEET
- ③ 2" RADIUS ON ALL EXPOSED EDGES
- ④ (3) #4 REBAR
- ⑤ #4 REBAR 18" ON CENTER
- ⑥ PLAY SAFETY SURFACE, REFER TO, SHEET 14
- ⑦ TOOLED SCORE JOINTS, 6" APART
- ⑧ (2) #4 DOWELS 18" ON CENTER
- ⑨ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTES:

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.

4 PLAYGROUND RAMP
 SCALE: NTS



OFFICIAL DEVELOPMENT PLAN
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SHEET 46 OF 87

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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23

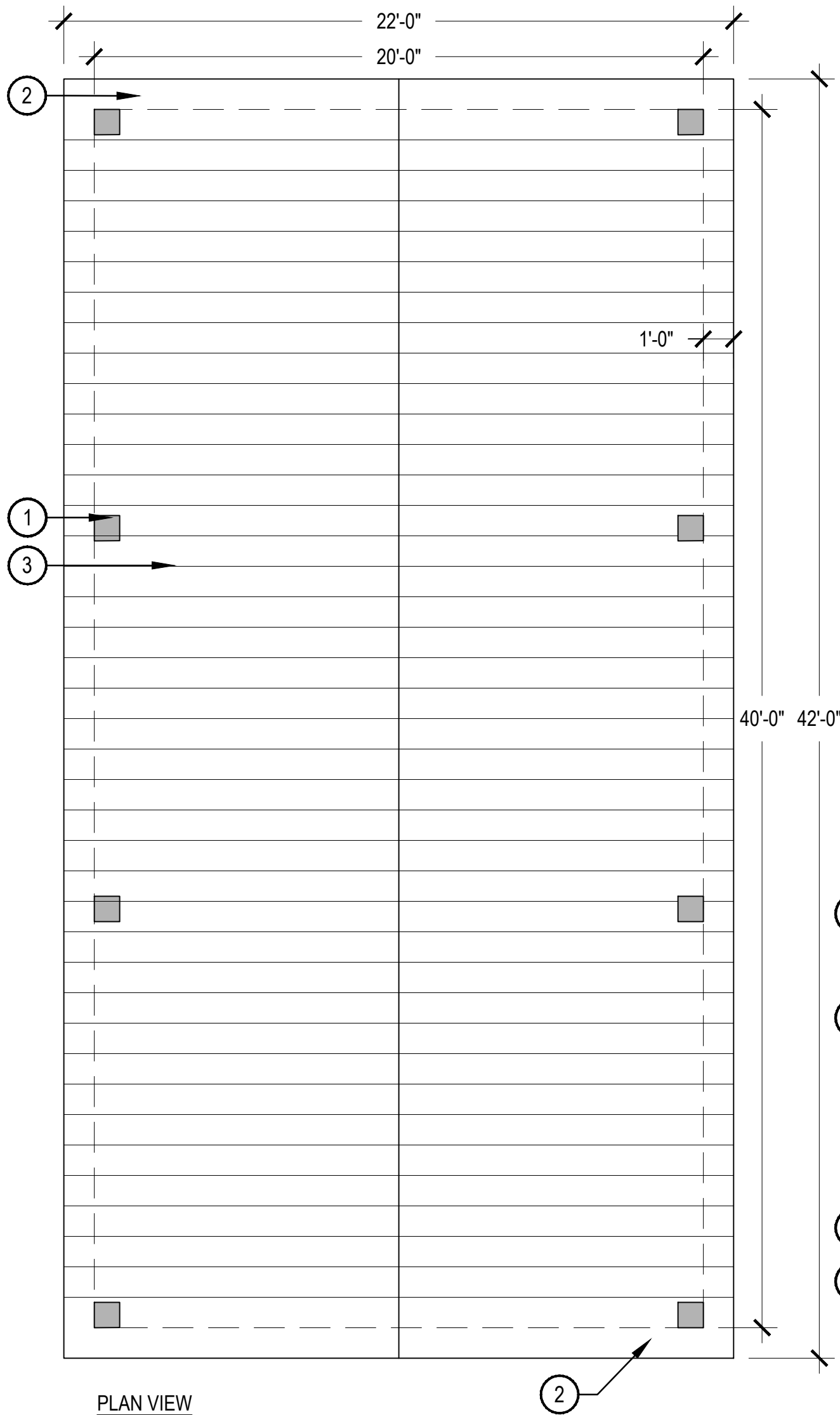
SUB-03: 06.07.23

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LANDSCAPE DETAILS

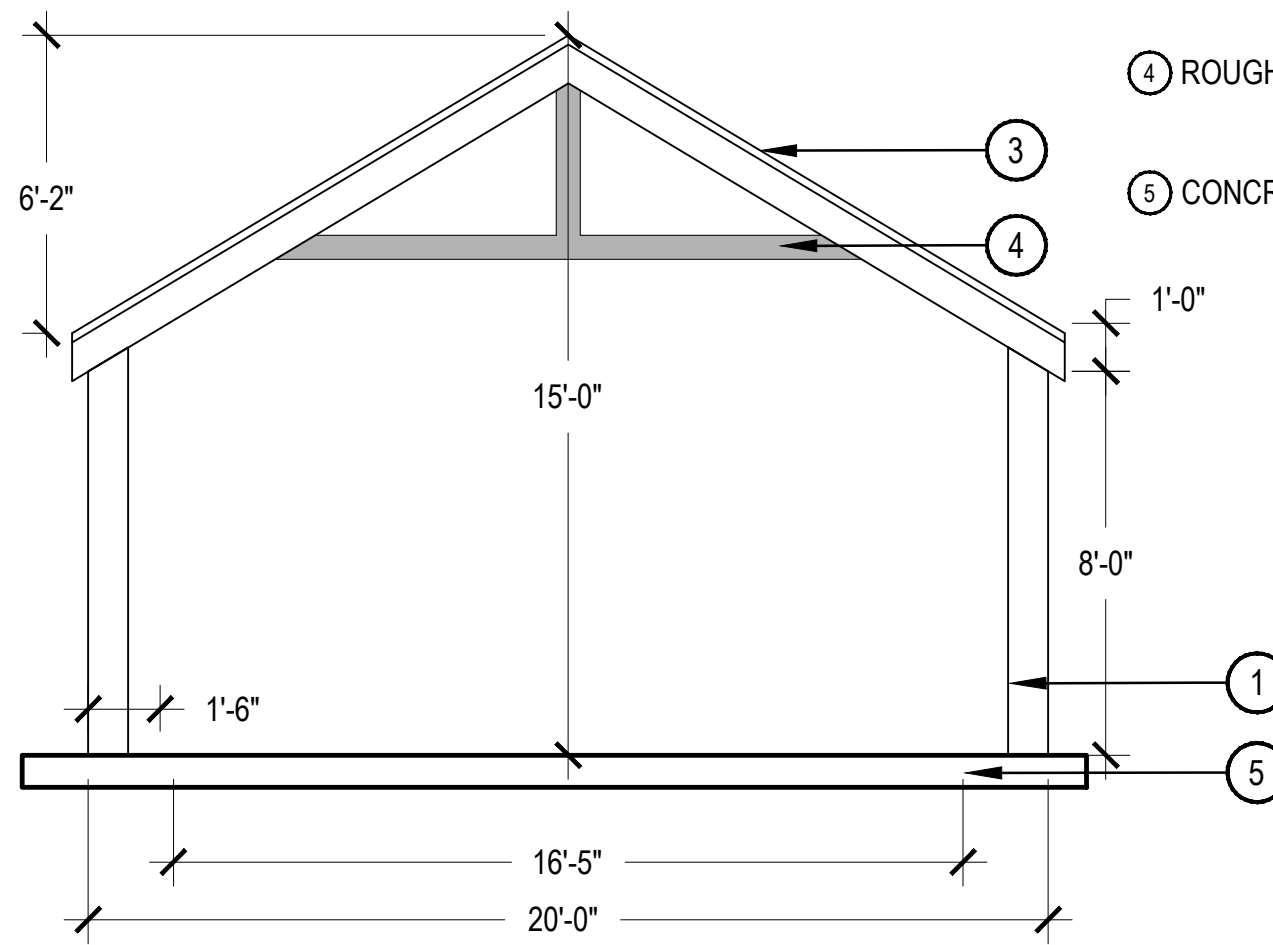
NOTES:

- 1. DETAIL PROVIDED FOR DESIGN INTENT ONLY. SHOP DRAWINGS REQUIRED.
- 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS

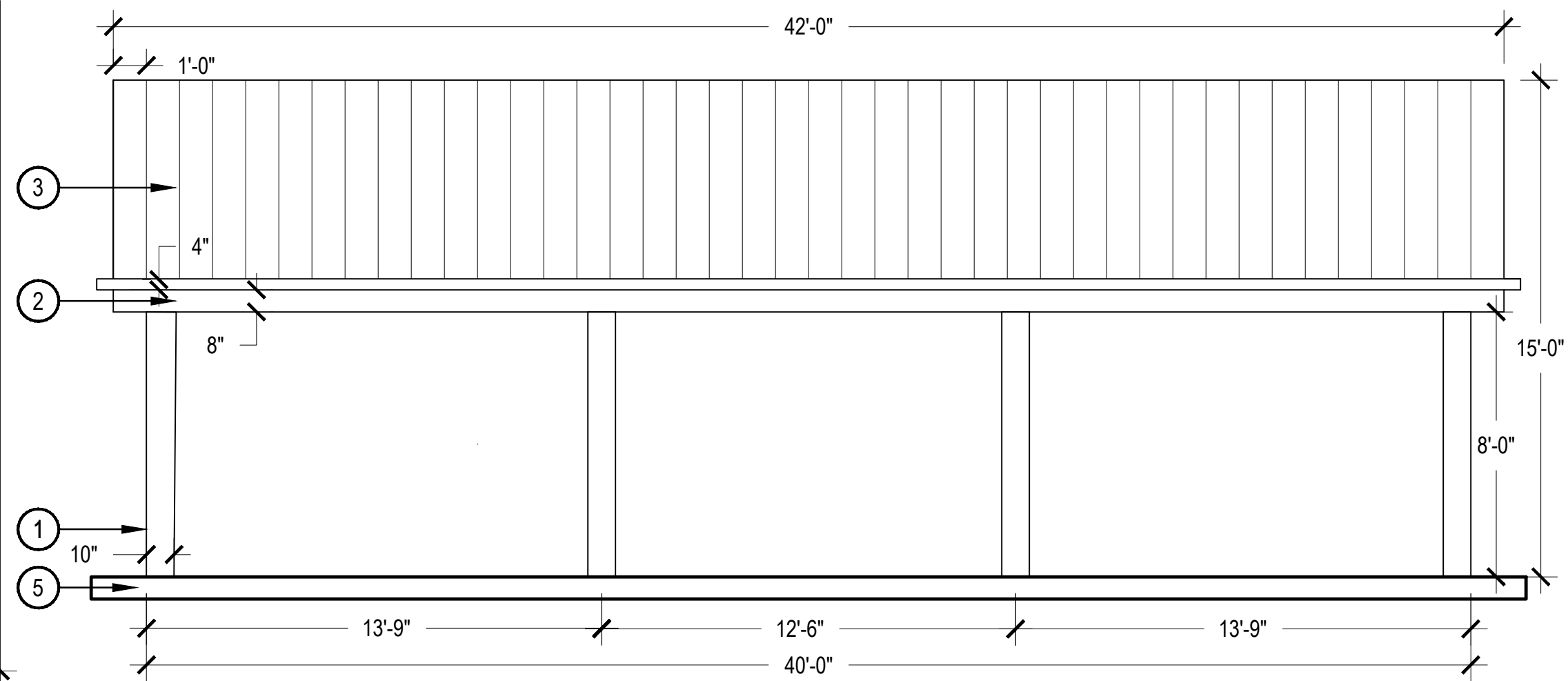
- ① 10 x 10" ROUGH SAWN CEDAR COLUMN. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ② 8x8" ROUGH SAWN CEDAR BEAM. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ③ 7x12" STANDING SEAM METAL ROOF TO MATCH MAIL KIOSK, RE: ARCH.
- ④ ROUGH-SAWN DECORATIVE DETAIL TO MATCH MAIL KIOSK, RE: ARCH
- ⑤ CONCRETE PAVING. RE: PLAN



PLAN VIEW



ELEVATION A



ELEVATION B

① PARK SHADE STRUCTURE

SCALE: 1/4" = 1'-0"



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UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

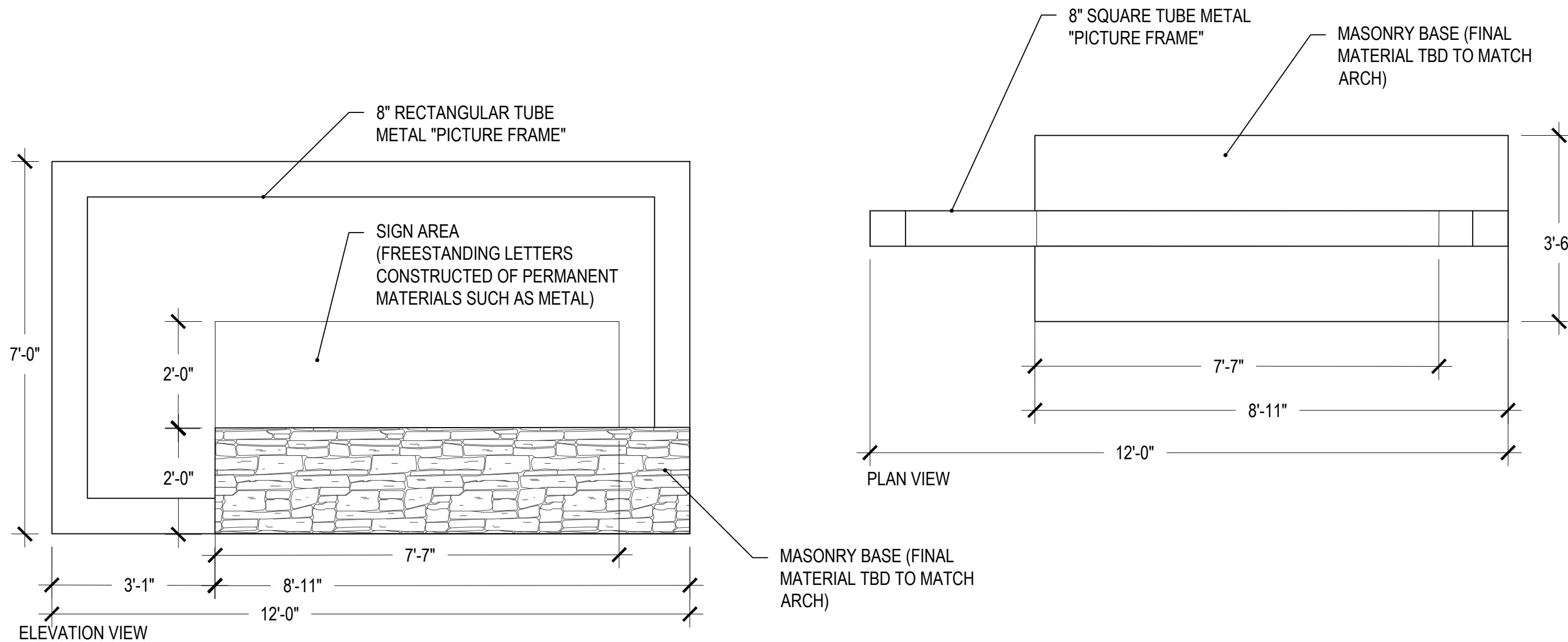
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REVISIONS

SUB-02: 04.13.23

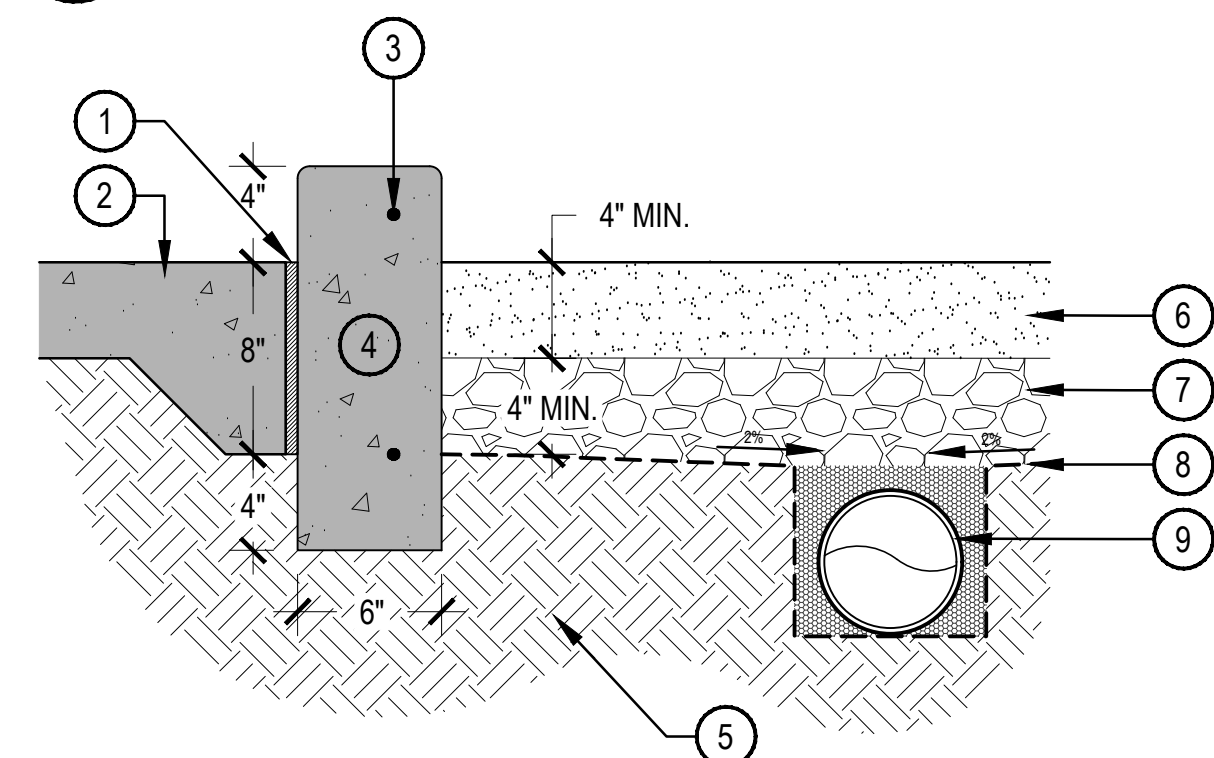
SUB-03: 06.07.23

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 LANDSCAPE DETAILS



1 PRIMARY MONUMENT SIGN

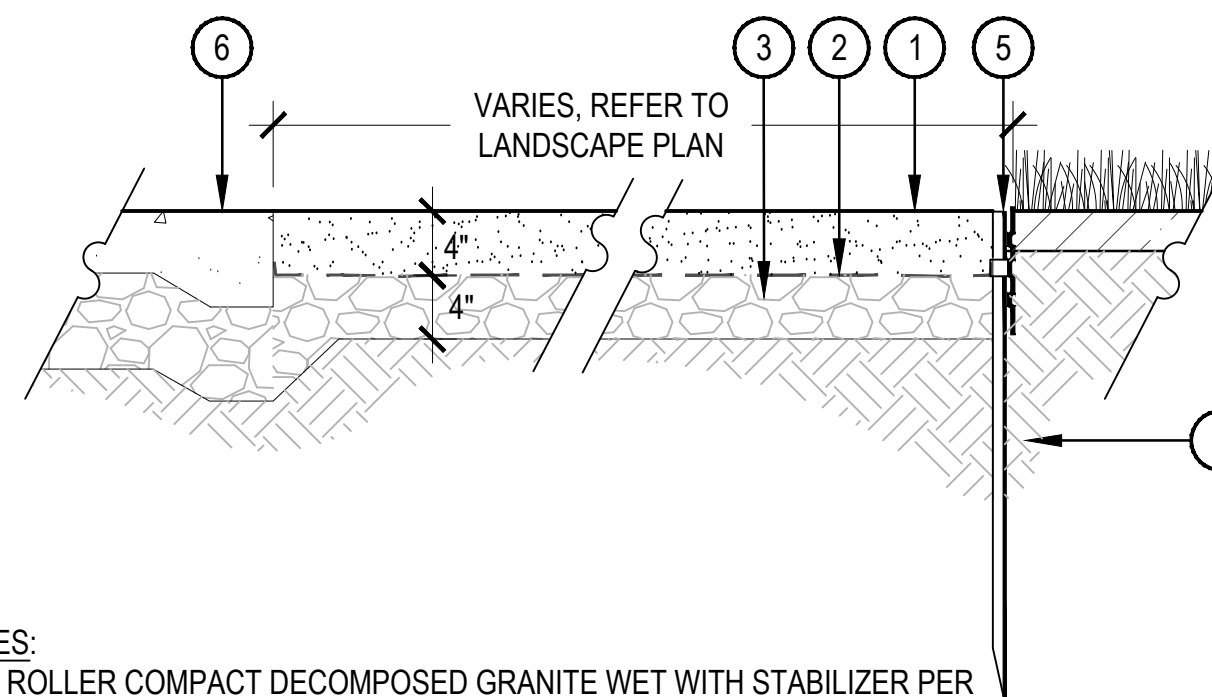
SCALE: 1/2" = 1'-0"



- ① 1/2" FIBER EXPANSION JOINT WITH TRAFFIC SEALANT AND #4 EPOXY COATED DOWELS 18" LENGTH PLACED 24" O.C. ALONG EXPANSION JOINT PLASTIC SLEEVE ON THE ONE END
- ② ADJACENT CONCRETE SLAB WITH THICKENED EDGE
- ③ #4 REBAR CONTINUOUS, SHALL BE MIN. 2" FROM EDGE OF CONCRETE
- ④ CAST-IN-PLACE CONCRETE CURB, SMOOTH FINISH, 1/2" RADIUS ON EDGES
- ⑤ COMPACTED SUBGRADE
- ⑥ CRUSHER FINES SURFACE, REFER TO MATERIAL SCHEDULE
- ⑦ 4" MIN. COMPACTED CRUSHED AGGREGATE
- ⑧ WEED CONTROL FABRIC
- ⑨ 6" PERFORATED PVC PIPE WITH FABRIC WRAP, IMBEDDED IN PEA GRAVE, MIN. 1% SLOPE, TIE INTO STORM LINE, RE: CIVIL

2 BOCCE BALL COURT SECTION

SCALE: 1-1/2" = 1'-0"



NOTES:

1. ROLLER COMPACT DECOMPOSED GRANITE WET WITH STABILIZER PER MANUFACTURER SPECIFICATIONS. COMPACT IN 2" LIFTS
2. PITCH TO DRAIN SURFACE AT 1-2% PER CIVIL GRADING PLAN.
3. TOLERANCES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
4. REFER TO LANDSCAPE PLAN FOR ABUTTING CONDITIONS.

3 CRUSHER FINES

SCALE: 1" = 1'-0"



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UPLANDS

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023
REVISIONS
 SUB-02: 04.13.23
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PAIRED HOME - ATTACHED RESIDENTIAL DESIGN STANDARDS TABLE

MODEL:	DUPLEX PLAN 1 & 2 ELEV. 'A'	DUPLEX PLAN 1 & 2 ELEV. 'B'	DUPLEX PLAN 1 & 2 ELEV. 'C'	DUPLEX PLAN 2 & 3 ELEV. 'A'	DUPLEX PLAN 2 & 3 ELEV. 'B'	DUPLEX PLAN 2 & 3 ELEV. 'C'	DUPLEX PLAN 1 & 3 ELEV. 'A'	DUPLEX PLAN 1 & 3 ELEV. 'B'	DUPLEX PLAN 1 & 3 ELEV. 'C'
(A-1) 360 DEGREE ARCHITECTURE	X	X	X	X	X	X	X	X	X
(A-2) VERTICAL AND HORIZONTAL ELEMENTS CONTRAST TO ONE ANOTHER	X	X	X	X	X	X	X	X	X
(A-3) GREATER MASS AT BASE OF BUILDING	X	X	X	X	X	X	X	X	X
(A-4) VARIETY IN SITE ORIENTATION AND BUILDINGS AVOID "BARRACKS" APPEARANCE	X	X	X	X	X	X	X	X	X
(A-5) NO MORE THAN 8 UNITS	X	X	X	X	X	X	X	X	X
(A-7) 3 DISTINCT MODELS FOR PROJECTS WITH MORE THAN 6 BUILDINGS	X	X	X	X	X	X	X	X	X
(A-8) FIREPLACE "BOX-OUTS"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
(B) BUILDING HEIGHT NOT EXCEED 3-STORIES	X	X	X	X	X	X	X	X	X
(C) COVERED ENTRY AREA	X	X	X	X	X	X	X	X	X
(E-1) 5 IN 12 MIN. SLOPE & MIN. 18" O.H.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(E-2) QUALITY ROOF MATERIALS	X	X	X	X	X	X	X	X	X
(E-3) MIN. 2 ROOF BREAKS	X	X	X	X	X	X	X	X	X
(2-A) GARAGE INTERIOR MINIMUM	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(2-B) GARAGE DOOR MINIMUM	X	X	X	X	X	X	X	X	X
(3-A) BALCONIES ARE OPAQUE & WITH WALLS ON TWO SIDES	X	X	X	X	X	X	X	X	X
(3-B) PRIVATE PATIOS 120 S.F. AND/OR BALCONIES 80 S.F. ON 50% OF UNITS	X	X	X	X	X	X	X	X	X
(4-A) ACCESSORY BUILDINGS RELATE TO BUILDING ARCHITECTURE	X	X	X	X	X	X	X	X	X
(4-B) GARAGES NOT EXCEED 6 SIDE BY SIDE PARKING SPACES	X	X	X	X	X	X	X	X	X
(5-A) 30% MASONRY ON ENTIRE BUILDING	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(5-B) SECOND-STORY DECKS HAVE MASONRY WRAPPED COLUMNS	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(5-C) CLADDING WILL EXTEND TO GROUND EXCEPT AT STEPPING	X	X	X	X	X	X	X	X	X
ELECTIVES									
(4) COVERED STRUCTURE PROVIDED OVER EXTERNAL MAILBOX UNITS (150 POINTS)	X	X	X	X	X	X	X	X	X
(5) NO MORE THAN 6 ADJACENT UNITS (200 POINTS)	X	X	X	X	X	X	X	X	X
(3-A) PRIVATE PATIOS 120 S.F. AND BALCONIES 80 S.F. ON 100% OF UNITS (150 POINTS)	X	X	X	X	X	X	X	X	X
(3-B-2) USABLE FRONT PORCHES 80 S.F. ON 75% OF UNITS (200 POINTS)	X	X	X	X	X	X	X	X	X

EXC. = EXCEPTIONS, SEE SUPPLEMENTAL DOCUMENT FOR LIST OF EXCEPTIONS & JUSTIFICATIONS

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UPLANDS - FILING NO. 2 - BLOCK 1
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 SHEET 49 OF 87


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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

SINGLE FAMILY TUCKUNDER - DETACHED RESIDENTIAL DESIGN STANDARDS TABLE												
MODEL:	PLAN 1 ELEV. 'A'	PLAN 1 ELEV. 'B'	PLAN 1 ELEV. 'C'	PLAN 2 ELEV. 'A'	PLAN 2 ELEV. 'B'	PLAN 2 ELEV. 'C'	PLAN 3 ELEV. 'A'	PLAN 3 ELEV. 'B'	PLAN 3 ELEV. 'C'	PLAN 4 ELEV. 'A'	PLAN 4 ELEV. 'B'	PLAN 4 ELEV. 'C'
(1-A) DIFFERENT ROOF FORMS	X	X	X	X	X	X	X	X	X	X	X	X
(1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	X	X	X	X	X	X	X	X	X
(A-1) 3-STORY PLANES HAVE PROJECTIONS AND/OR RECESSES	X	X	X	X	X	X	X	X	X	X	X	X
(A-2) HORIZONTAL OFFSET OF 4' OR GREATER ON 50% MODELS	X	X	X	X	X	X						
(B) 5 IN 12 MIN. SLOPE & MIN. 18" O.H.	X	X	X	X	X	X	X	X	X	X	X	X
(B) ROOF BREAKS ON 50% OF MODELS	X	X	X	X	X	X	X	X	X	X	X	X
(C) FRONT PORCHES 80 S.F. AND SIDE OR REAR PATIO 120 S.F. ON 50% OF MODELS	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(D) 5' WIDE WINDOWS PROJECT MIN. 16" FROM FRONT FACADE ON 50% OF MODELS	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(3-A) TWO-CAR GARAGE	X	X	X	X	X	X	X	X	X	X	X	X
(3-B) GARAGE INTERIOR MINIMUM	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(3-C) GARAGE DOOR MINIMUM	X	X	X	X	X	X	X	X	X	X	X	X
(B-1) 30% MASONRY ON FRONT ELEVATIONS	X	X	X	X	X	X	X	X	X	X	X	X
(B-2) MASONRY TO BOTTOM LINE OF LOWEST STORY WINDOWS	X	X	X	X	X	X	X	X	X	X	X	X
(B-3) SECOND-STORY DECKS HAVE MASONRY WRAPPED COLUMNS	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.	EXC.
(B-4) CLADDING EXTENDS TO GROUND EXCEPT AT STEPPING	X	X	X	X	X	X	X	X	X	X	X	X
ELECTIVES												
ROOF BREAKS (50 POINTS)	X	X	X	X	X	X	X	X	X	X	X	X
SIDE OR REAR-LOADED GARAGES ON 75% OF MODELS (500 POINTS)	X	X	X	X	X	X	X	X	X	X	X	X
GARAGE DOOR WINDOWS WILL BE ON 50% OF MODELS BUILT (75 POINTS)	X	X	X	X	X	X	X	X	X	X	X	X

EXC. = EXCEPTIONS, SEE SUPPLEMENTAL DOCUMENT FOR LIST OF EXCEPTIONS & JUSTIFICATIONS

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

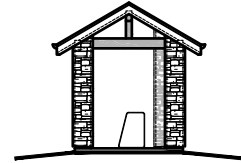
SUB-02: 04.13.23

SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 50 OF 87

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**MAIL KIOSK /
 BIKE RACK
 STRUCTURE**



MAIL KIOSK - FRONT ELEVATION

PAIRED HOME



PLAN 1 & 2 - FRONT ELEVATION - 'A'

PLAN 1 & 2 - FRONT ELEVATION - 'B'

PLAN 1 & 2 - FRONT ELEVATION - 'C'



PLAN 2 & 3 - FRONT ELEVATION - 'A'

PLAN 2 & 3 - FRONT ELEVATION - 'B'

PLAN 2 & 3 - FRONT ELEVATION - 'C'



PLAN 1 & 3 - FRONT ELEVATION - 'A'

PLAN 1 & 3 - FRONT ELEVATION - 'B'

PLAN 1 & 3 - FRONT ELEVATION - 'C'

SINGLE FAMILY TUCKUNDER



PLAN 1 - FRONT ELEVATION - 'A'

PLAN 1 - FRONT ELEVATION - 'B'

PLAN 1 - FRONT ELEVATION - 'C'



PLAN 2 - FRONT ELEVATION - 'A'

PLAN 2 - FRONT ELEVATION - 'B'

PLAN 2 - FRONT ELEVATION - 'C'



PLAN 3 - FRONT ELEVATION - 'A'

PLAN 3 - FRONT ELEVATION - 'B'

PLAN 3 - FRONT ELEVATION - 'C'



PLAN 4 - FRONT ELEVATION - 'A'

PLAN 4 - FRONT ELEVATION - 'B'

PLAN 4 - FRONT ELEVATION - 'C'

**ANTI-MONOTONY
 RULES**

NO SINGLE FAMILY DETACHED DWELLING UNIT OF THE SAME MODEL SHALL BE BUILT ON ADJACENT LOTS, NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.

NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS WHOSE FRONT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET, HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.

NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK: A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET. FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

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 PREPARED: 01.26.2023

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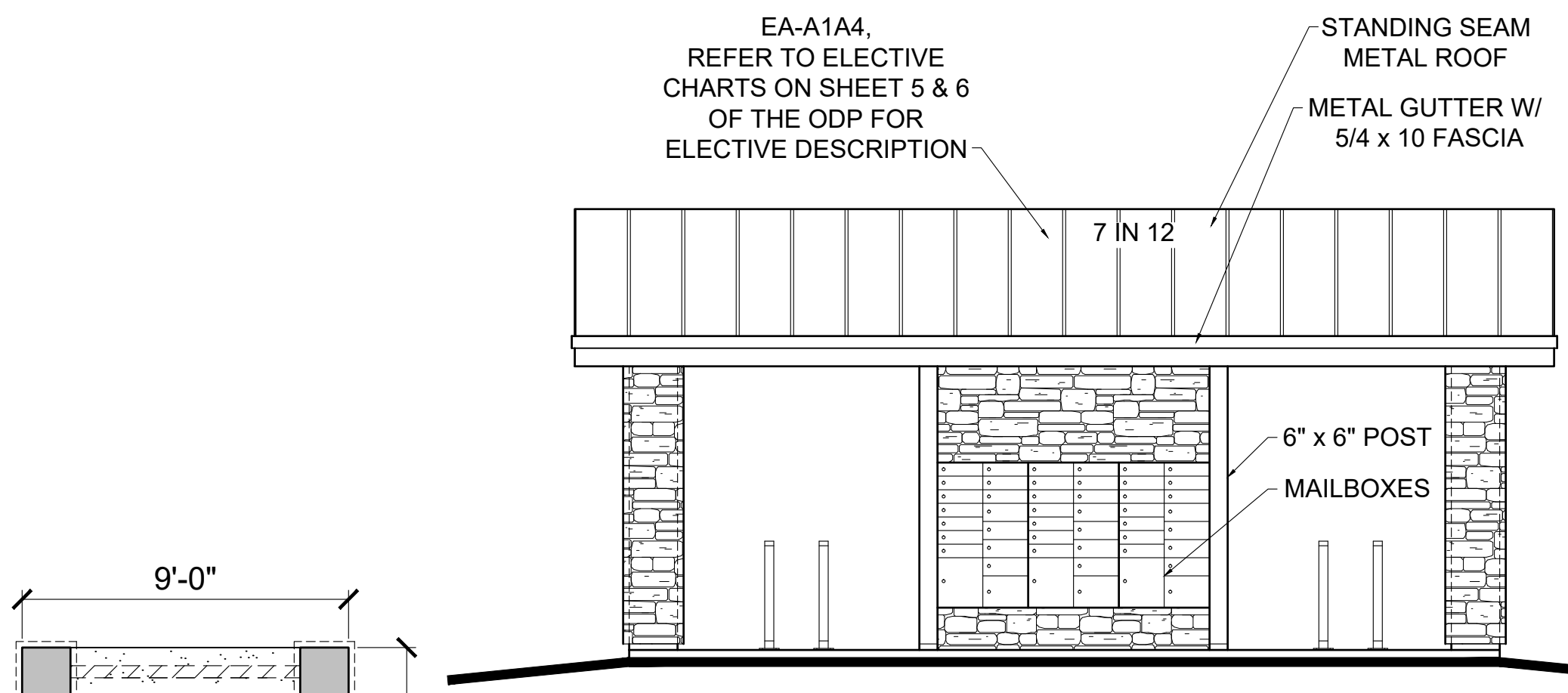
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UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 51 OF 87

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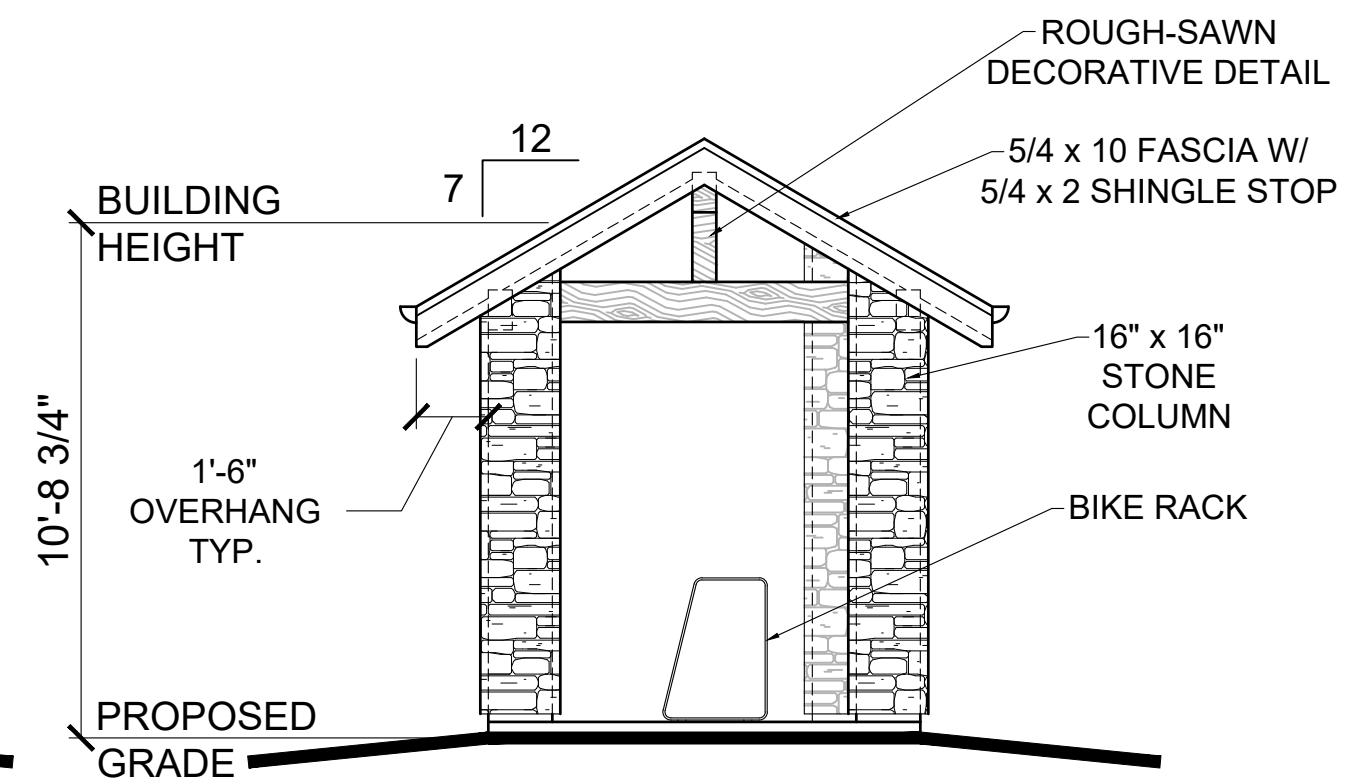
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 WESTMINSTER, COLORADO

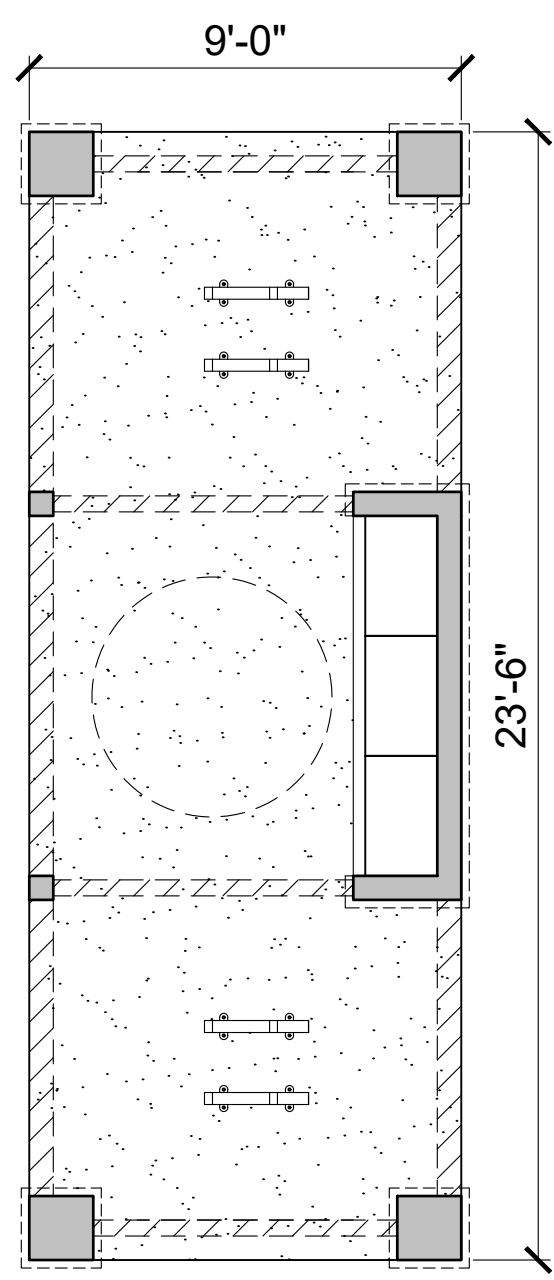
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	SUB-02: 04.13.23
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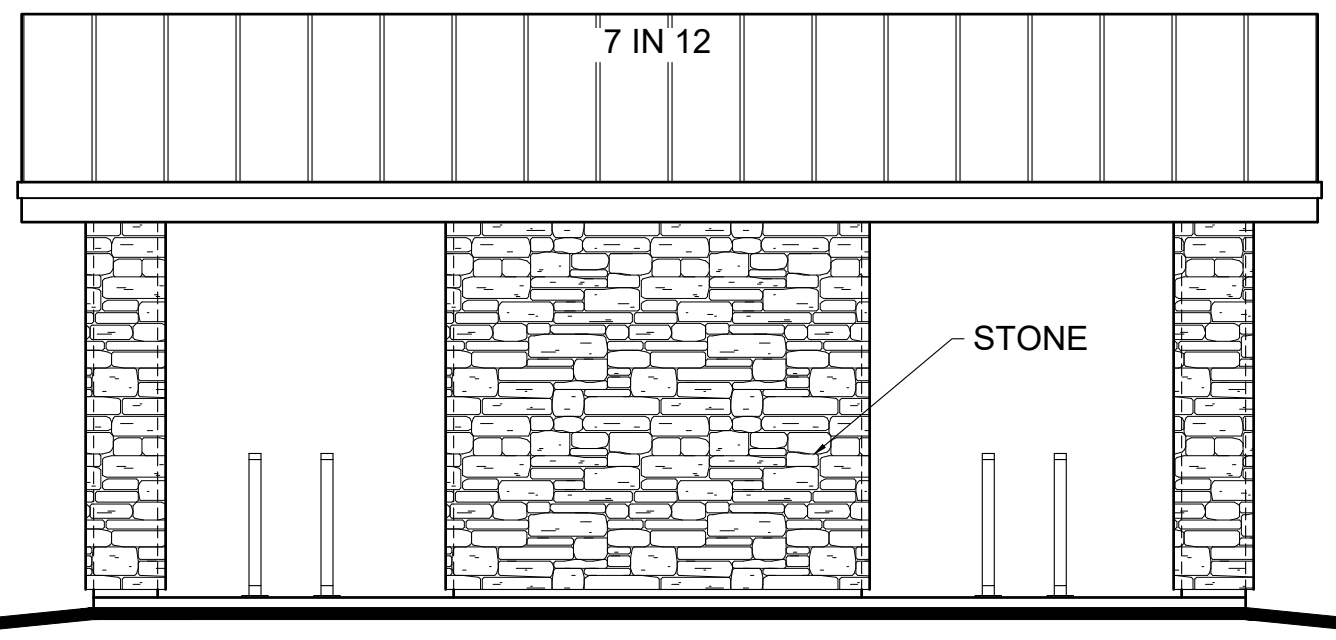
ELEVATION - LEFT
 SCALE: 1/4" = 1'-0"



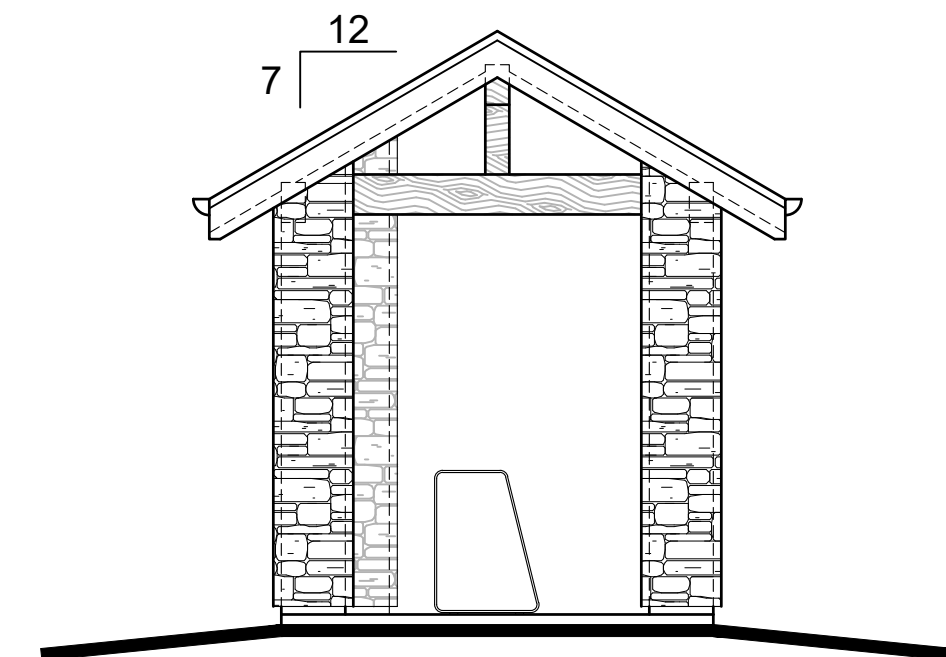
ELEVATION - FRONT
 SCALE: 1/4" = 1'-0"



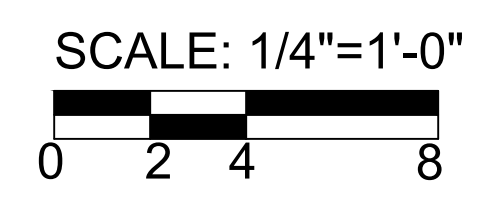
MAIL KIOSK FLOOR PLAN
 SCALE: 1/4" = 1'-0"



ELEVATION - RIGHT
 SCALE: 1/4" = 1'-0"



ELEVATION - REAR
 SCALE: 1/4" = 1'-0"



NOTE:
 1. SOLAR POWERED LIGHTING WILL BE PROVIDED

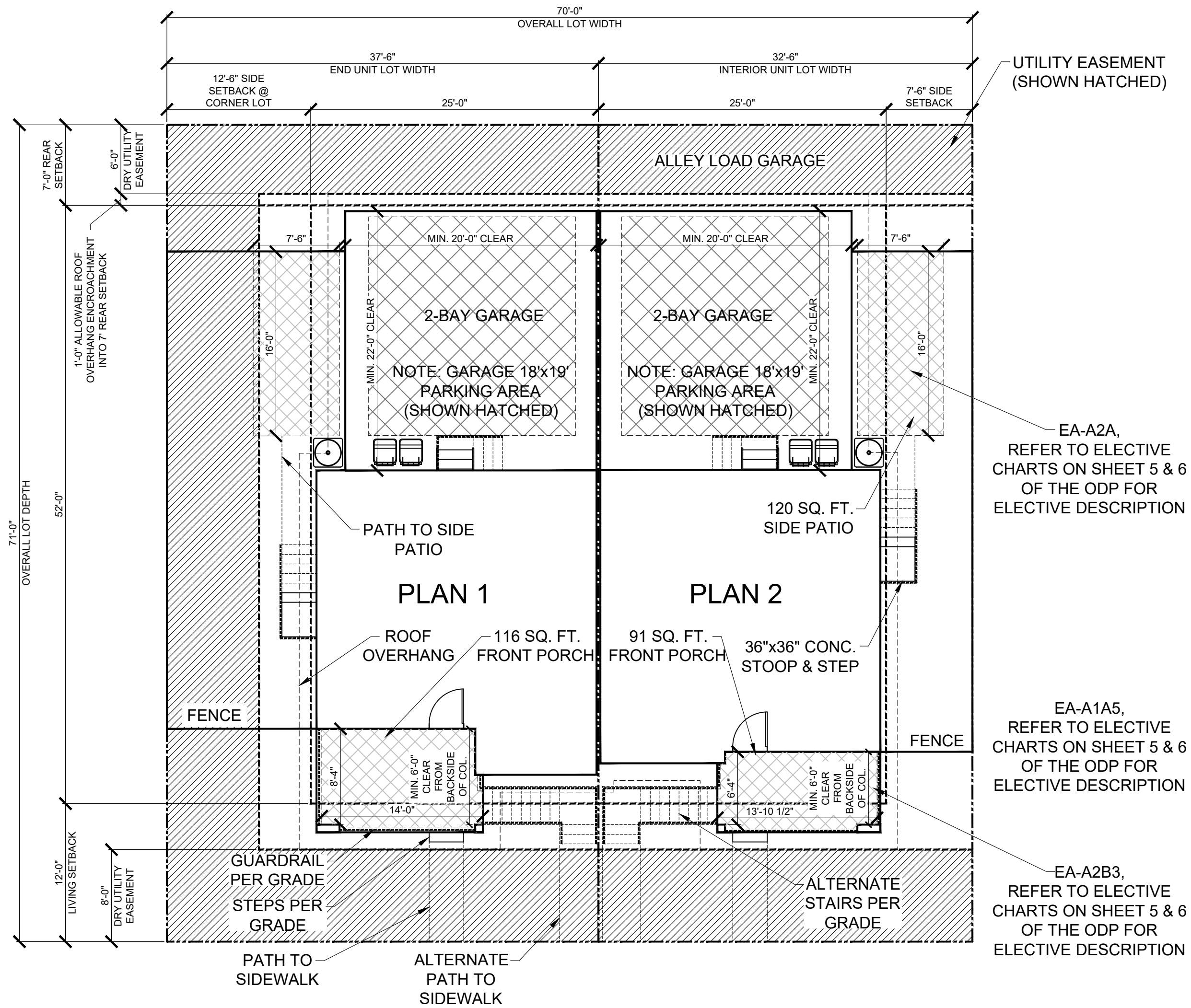
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UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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 WESTMINSTER, COLORADO



EA-A2A,
 REFER TO ELECTIVE
 CHARTS ON SHEET 5 & 6
 OF THE ODP FOR
 ELECTIVE DESCRIPTION

EA-A1A5,
 REFER TO ELECTIVE
 CHARTS ON SHEET 5 & 6
 OF THE ODP FOR
 ELECTIVE DESCRIPTION

EA-A2B3,
 REFER TO ELECTIVE
 CHARTS ON SHEET 5 & 6
 OF THE ODP FOR
 ELECTIVE DESCRIPTION

PAIRED HOME LOT TYPICAL PLAN 1 & 2 - 1ST LEVEL

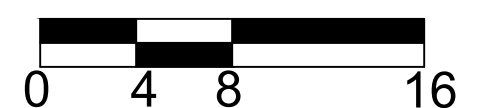
ELEVATION STYLE 'C' SHOWN, 'A' & 'B' SIMILAR SCALE: 1/8" = 1'-0"

PLAN 1 1,535 TOTAL SQ. FT.	PLAN 2 1,633 TOTAL SQ. FT.
--------------------------------------	--------------------------------------

OUTDOOR LIVING: 236 TOTAL SQ. FT.	OUTDOOR LIVING: 211 TOTAL SQ. FT.
FRONT PORCH: 116 SQ. FT.	FRONT PORCH: 91 SQ. FT.
SIDE PATIO: 120 SQ. FT.	SIDE PATIO: 120 SQ. FT.

- NOTE:
- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE SCREENED WITH YEAR-ROUND LANDSCAPING, OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 - TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 - NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT
 - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY

SCALE: 1/8"=1'-0"



OFFICIAL DEVELOPMENT PLAN
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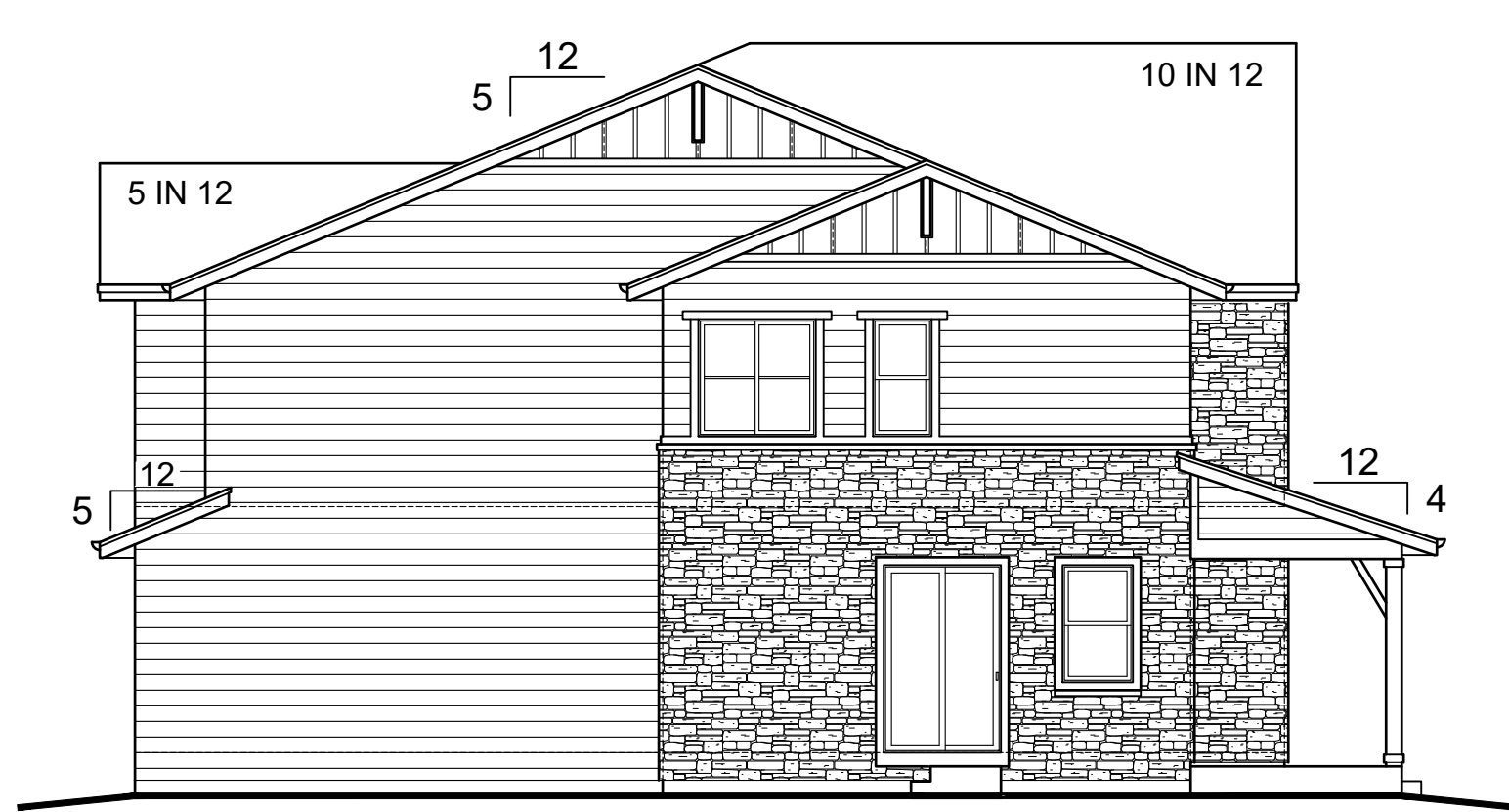
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
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IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 53 OF 87

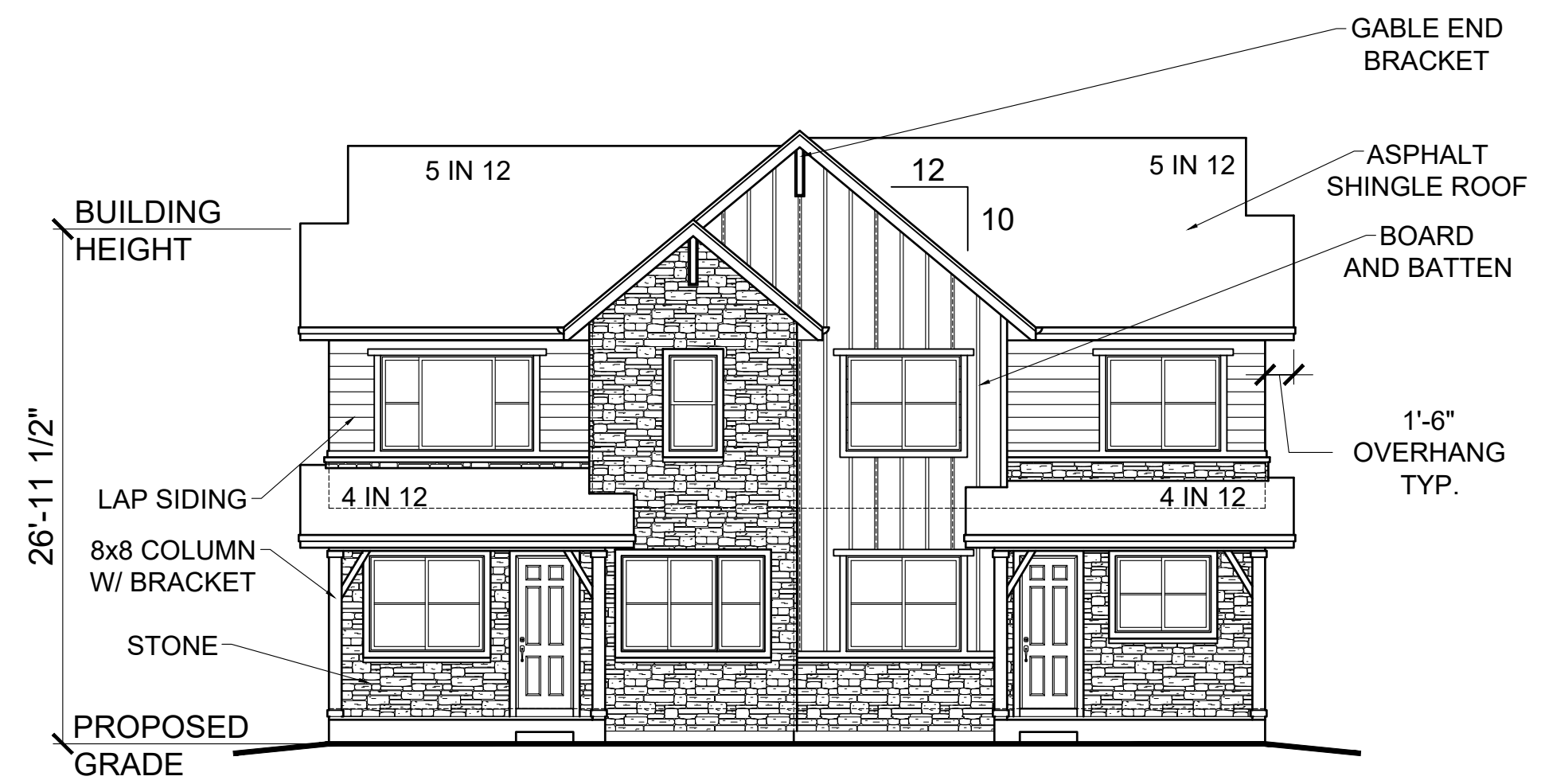
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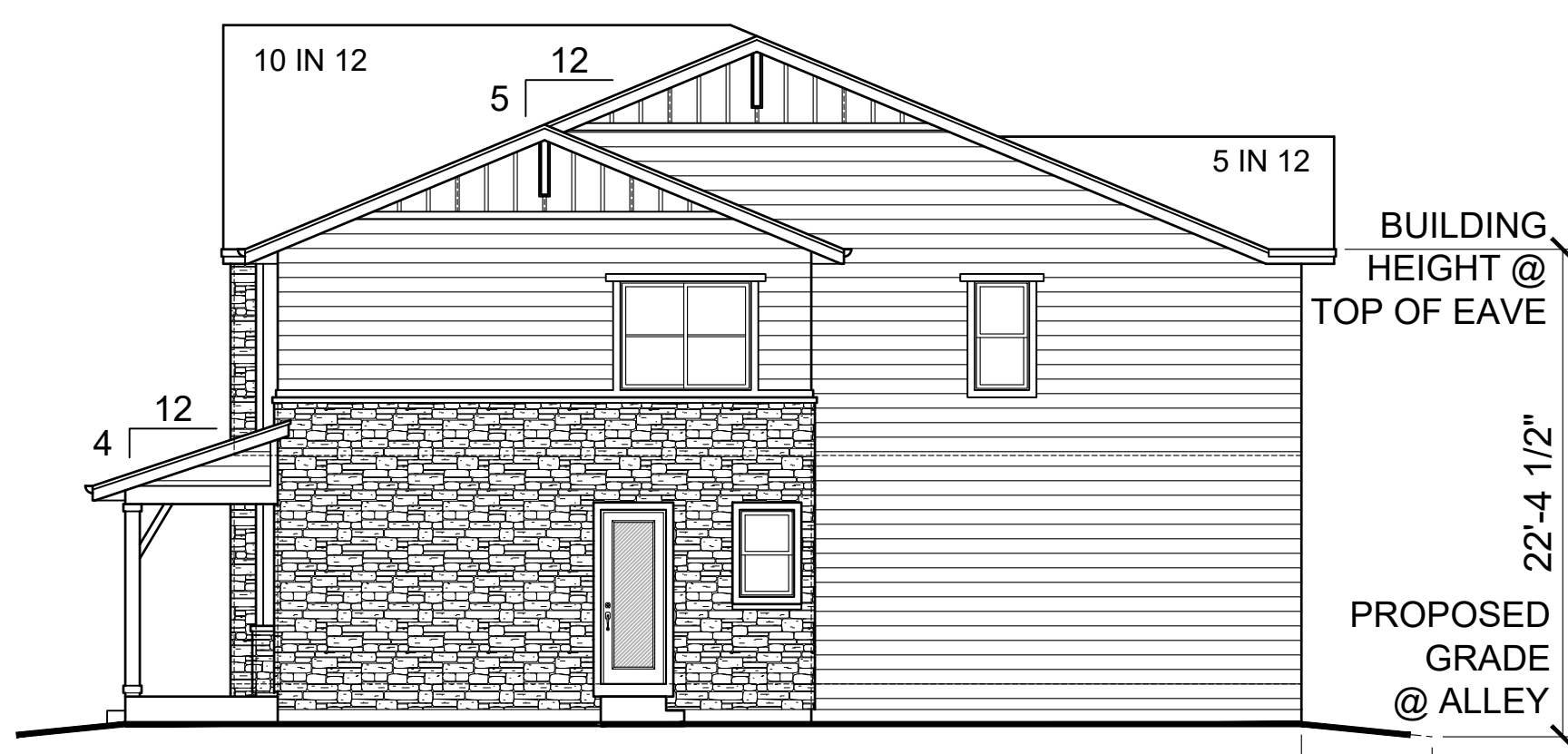
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OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



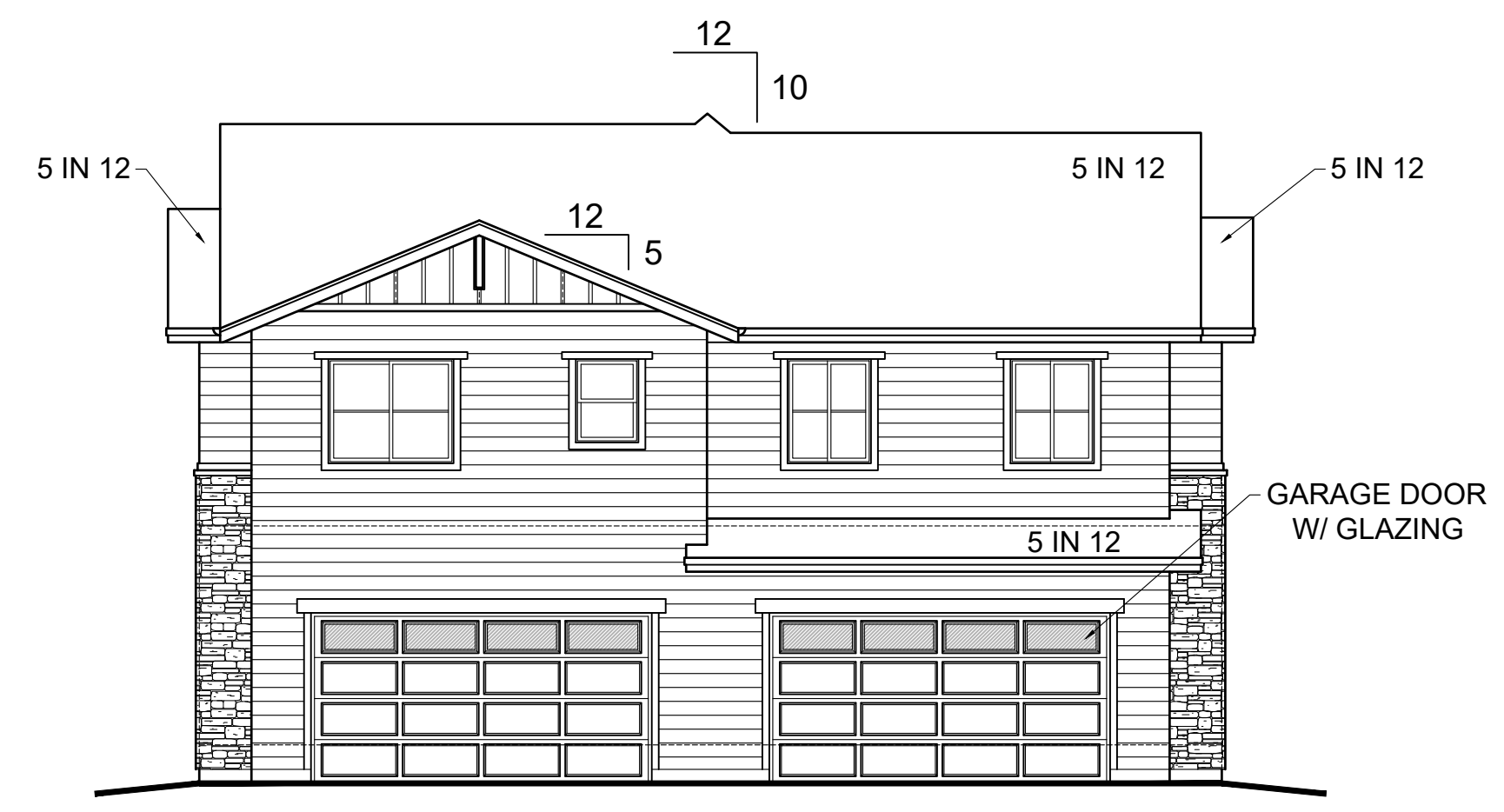
PLAN 1 & 2 ELEVATION 'A' - LEFT
29% MASONRY SCALE: 1/8" = 1'-0"



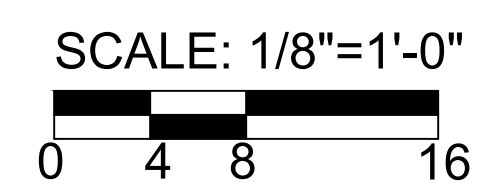
PLAN 1 & 2 ELEVATION 'A' - FRONT
51% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 1 & 2 ELEVATION 'A' - RIGHT
29% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'A' - REAR
11% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23

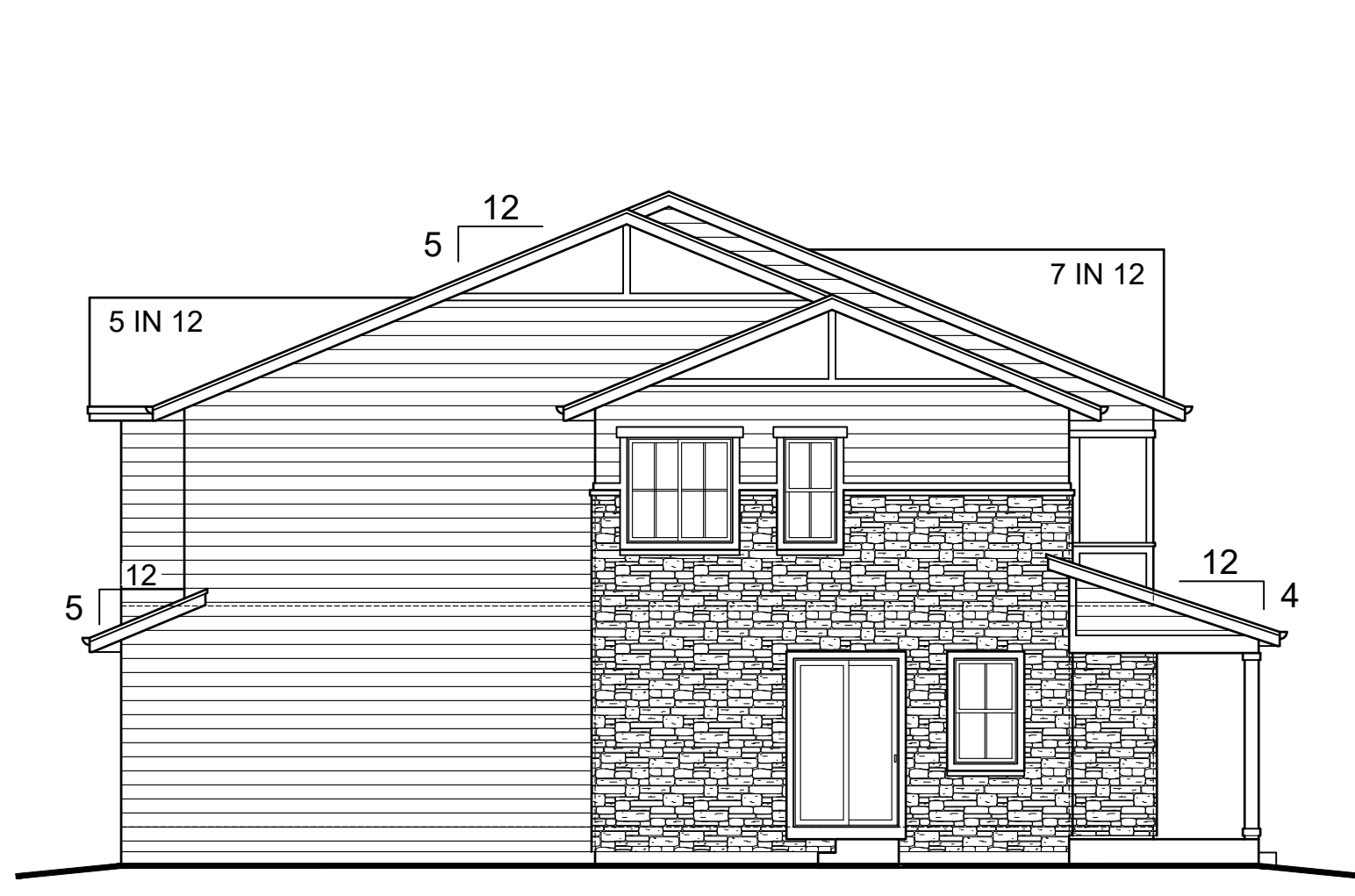
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 54 OF 87

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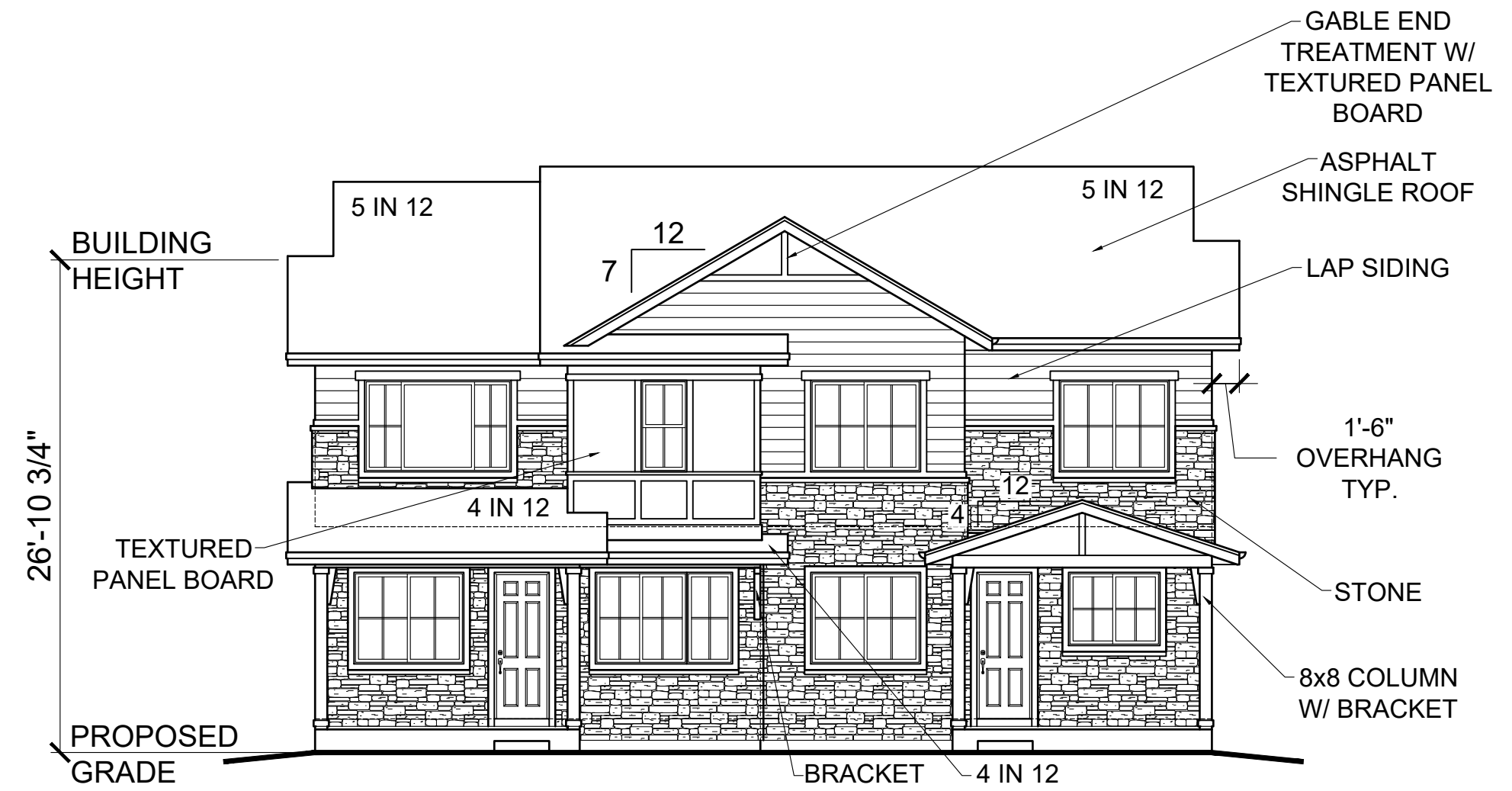
UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



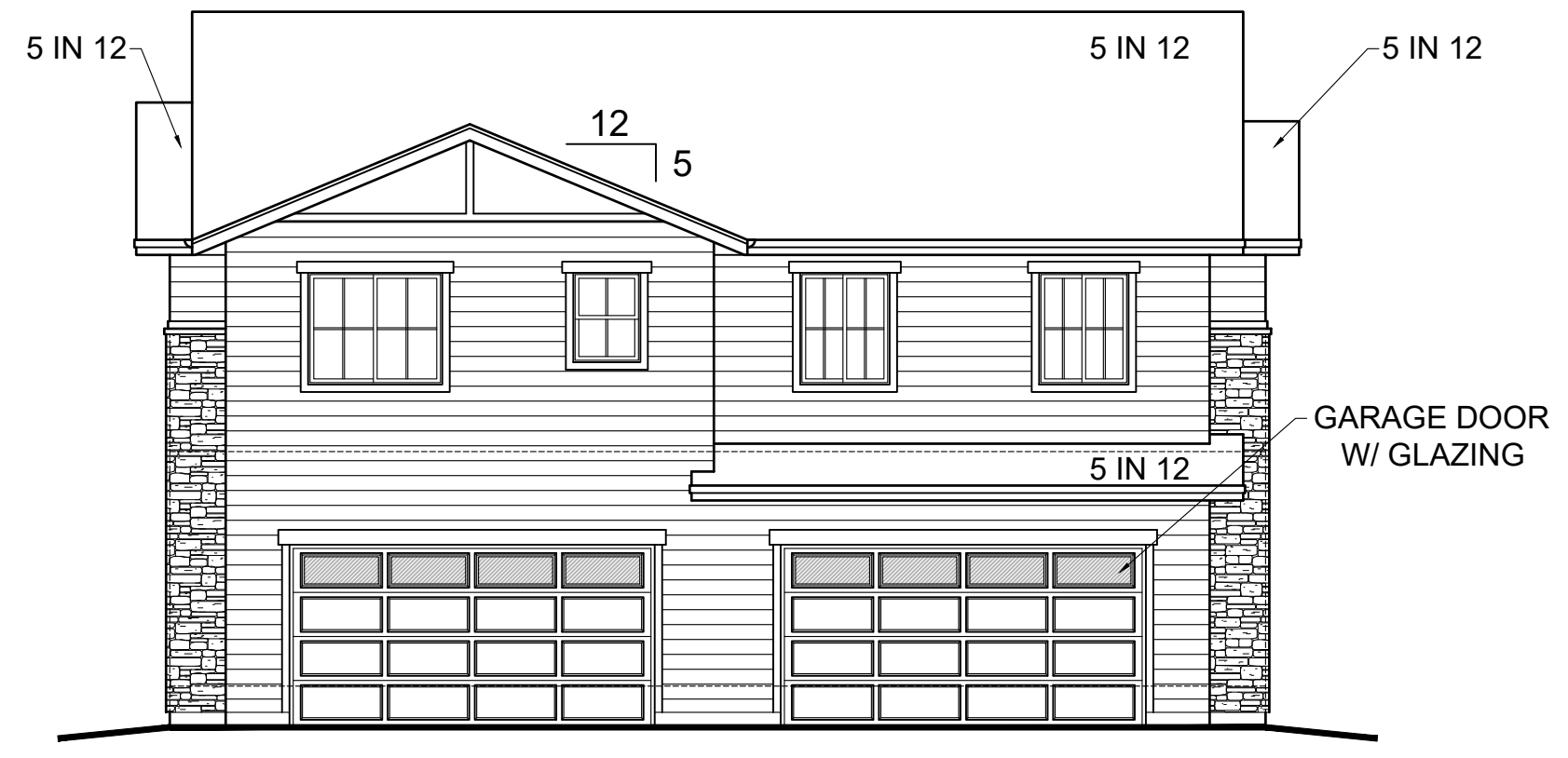
PLAN 1 & 2 ELEVATION 'B' - LEFT
29% MASONRY SCALE: 1/8" = 1'-0"



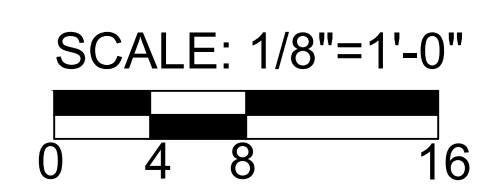
PLAN 1 & 2 ELEVATION 'B' - FRONT
51% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
31% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 1 & 2 ELEVATION 'B' - RIGHT
33% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'B' - REAR
13% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

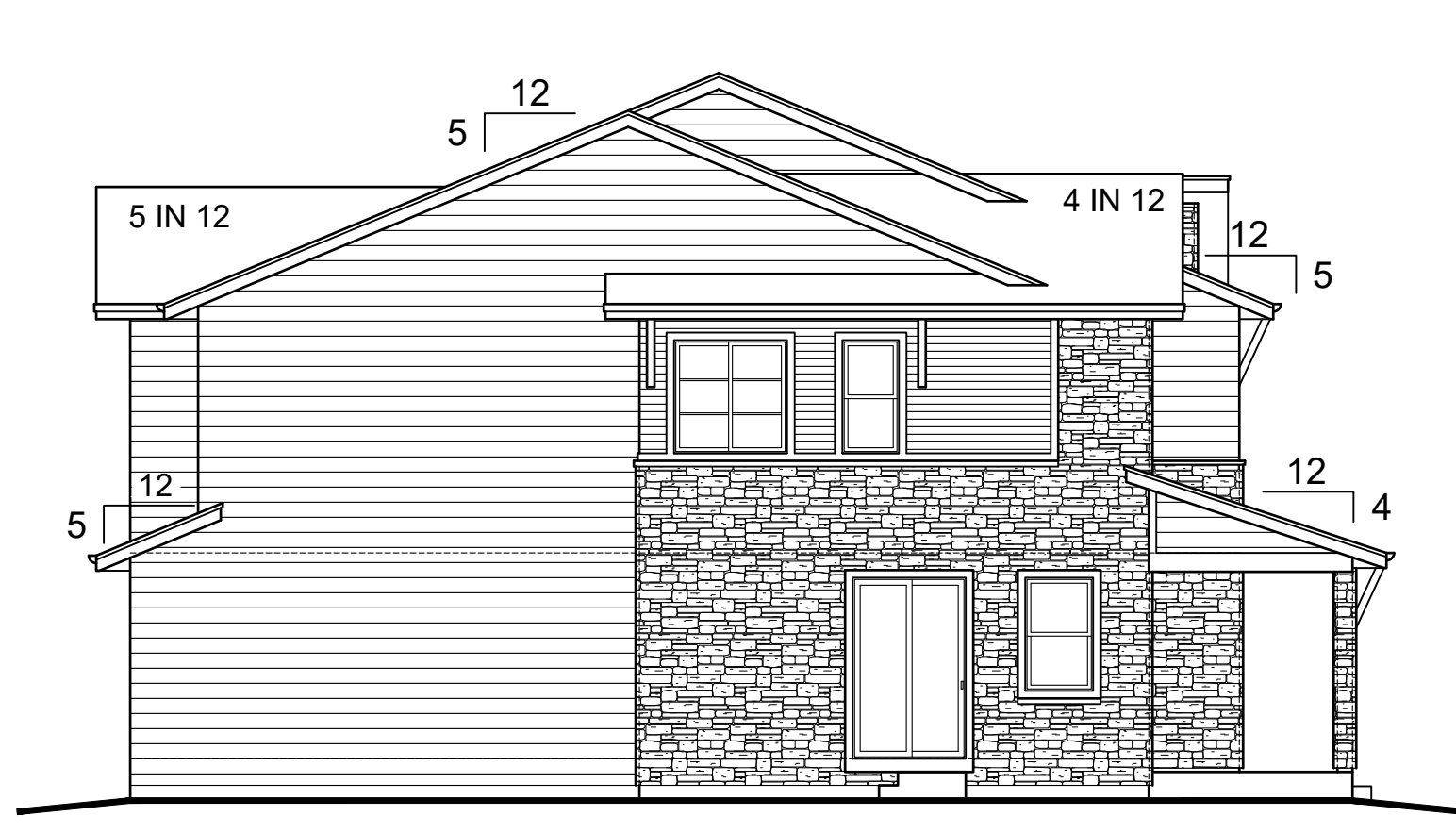
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 55 OF 87

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DATE: 06.07.2023

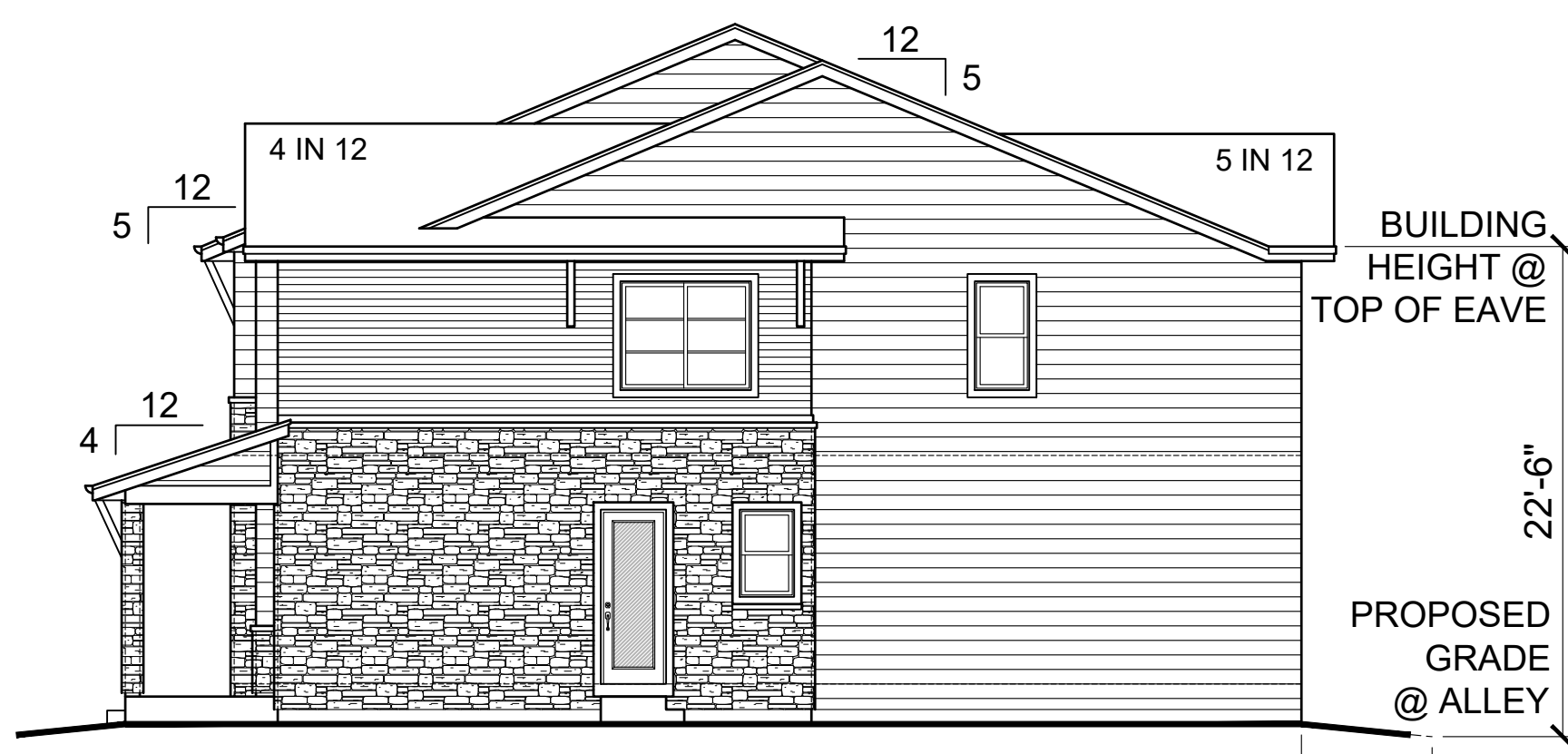
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



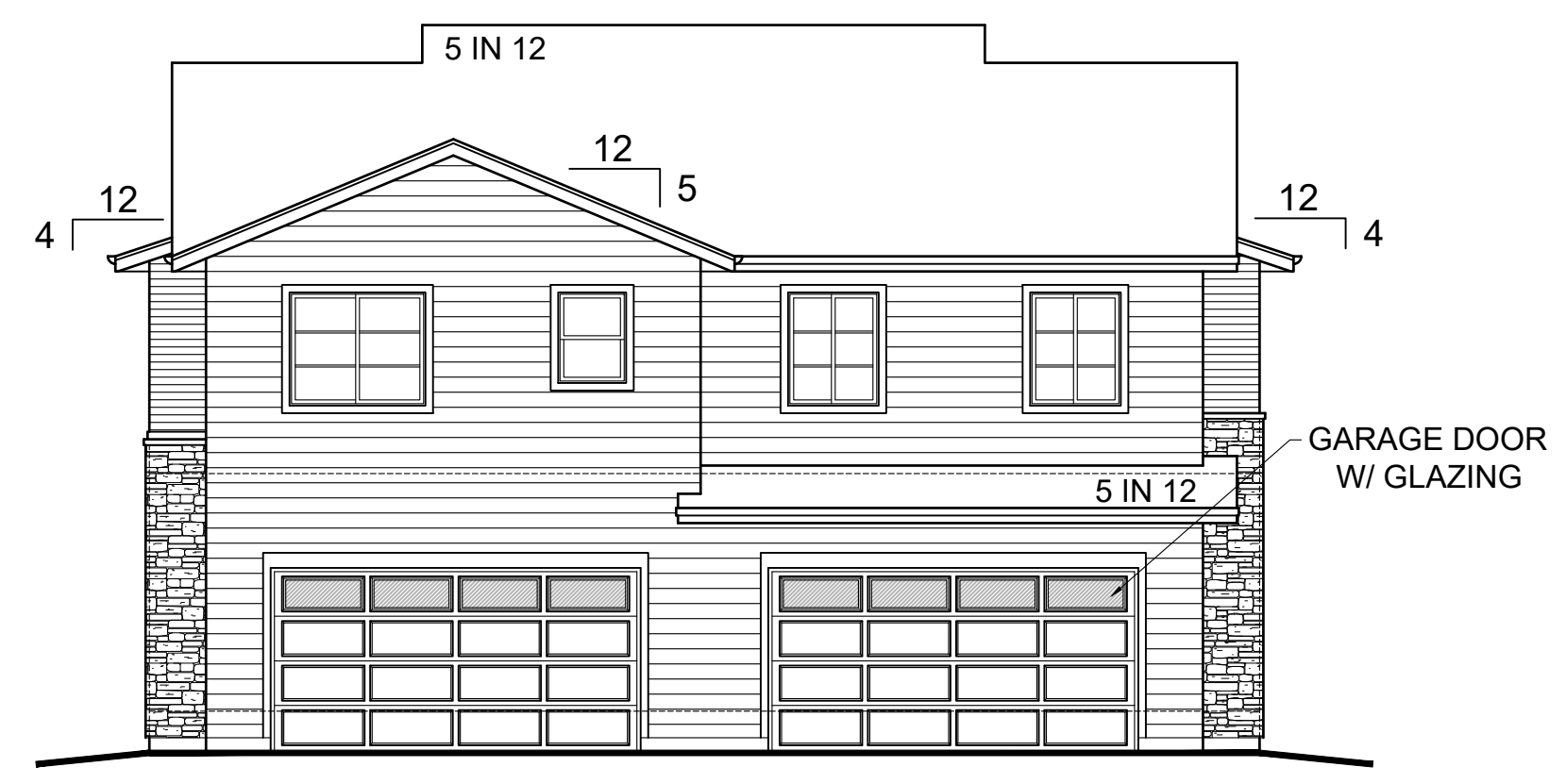
PLAN 1 & 2 ELEVATION 'C' - LEFT
31% MASONRY SCALE: 1/8" = 1'-0"



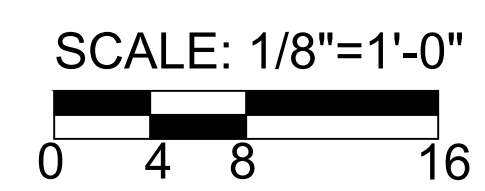
PLAN 1 & 2 ELEVATION 'C' - FRONT
51% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 1 & 2 ELEVATION 'C' - RIGHT
28% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'C' - REAR
10% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23

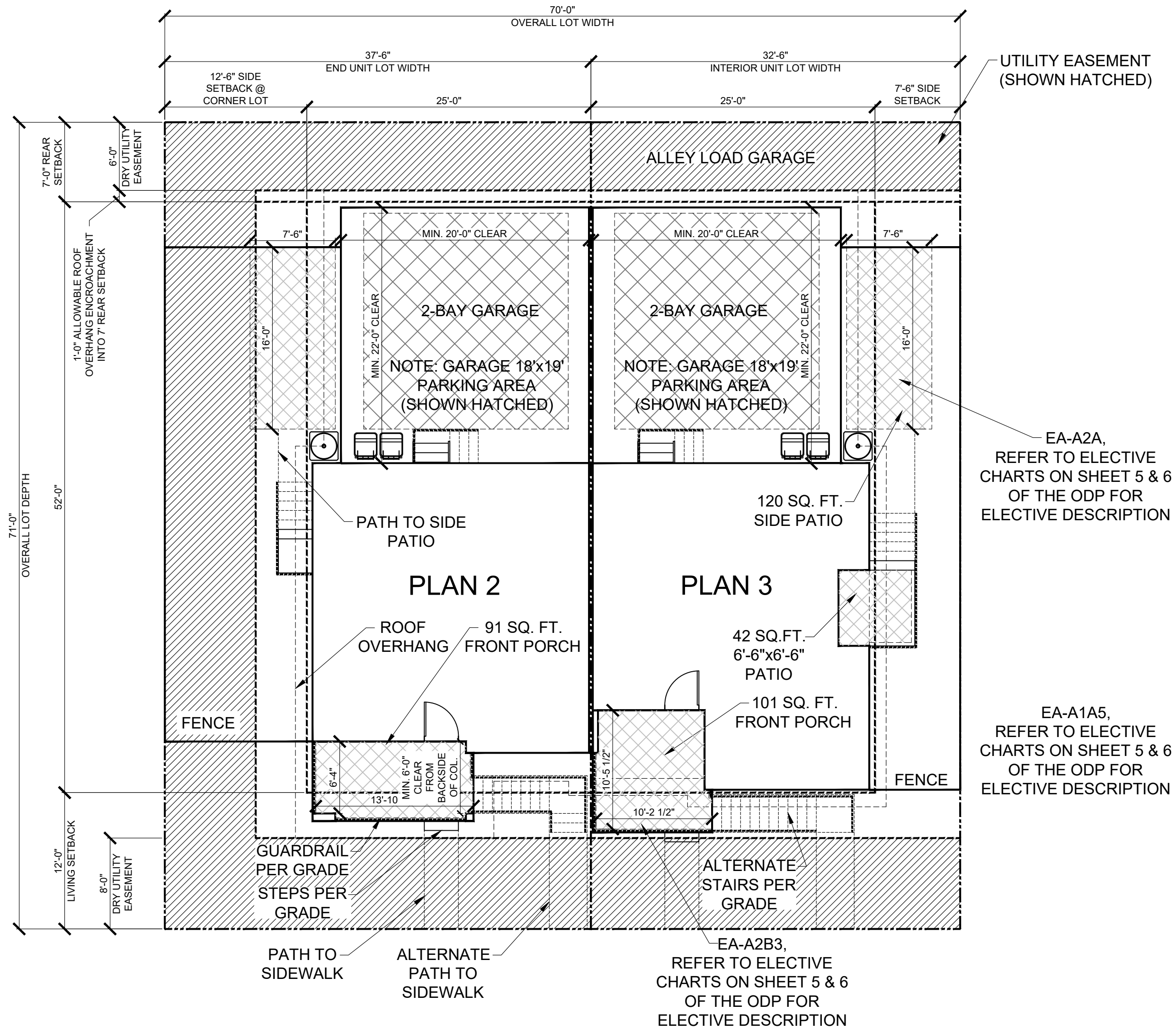
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 56 OF 87

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UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



EA-A2A,
 REFER TO ELECTIVE
 CHARTS ON SHEET 5 & 6
 OF THE ODP FOR
 ELECTIVE DESCRIPTION

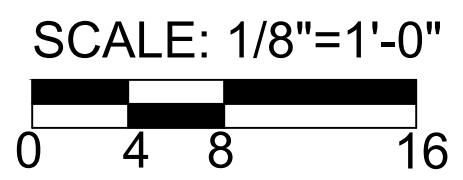
EA-A1A5,
 REFER TO ELECTIVE
 CHARTS ON SHEET 5 & 6
 OF THE ODP FOR
 ELECTIVE DESCRIPTION

EA-A2B3,
 REFER TO ELECTIVE
 CHARTS ON SHEET 5 & 6
 OF THE ODP FOR
 ELECTIVE DESCRIPTION

PAIRED HOME LOT TYPICAL PLAN 2 & 3 - 1ST LEVEL
 ELEVATION STYLE 'C' SHOWN, 'A' & 'B' SIMILAR SCALE: 1/8" = 1'-0"

PLAN 2	PLAN 3
1,633 TOTAL SQ. FT.	1,720 TOTAL SQ. FT.
OUTDOOR LIVING: 211 TOTAL SQ. FT.	OUTDOOR LIVING: 263 TOTAL SQ. FT.
FRONT PORCH: 91 SQ. FT.	FRONT PORCH: 101 SQ. FT.
SIDE PATIO: 120 SQ. FT.	SIDE PATIO: 120 SQ. FT.
	6'-6" x 6'-6" PATIO: 42 SQ. FT.

- NOTE:
- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE SCREENED WITH YEAR-ROUND LANDSCAPING, OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 - TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 - NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT.
 - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

SUB-02: 04.13.23
SUB-03: 06.07.23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 57 OF 87

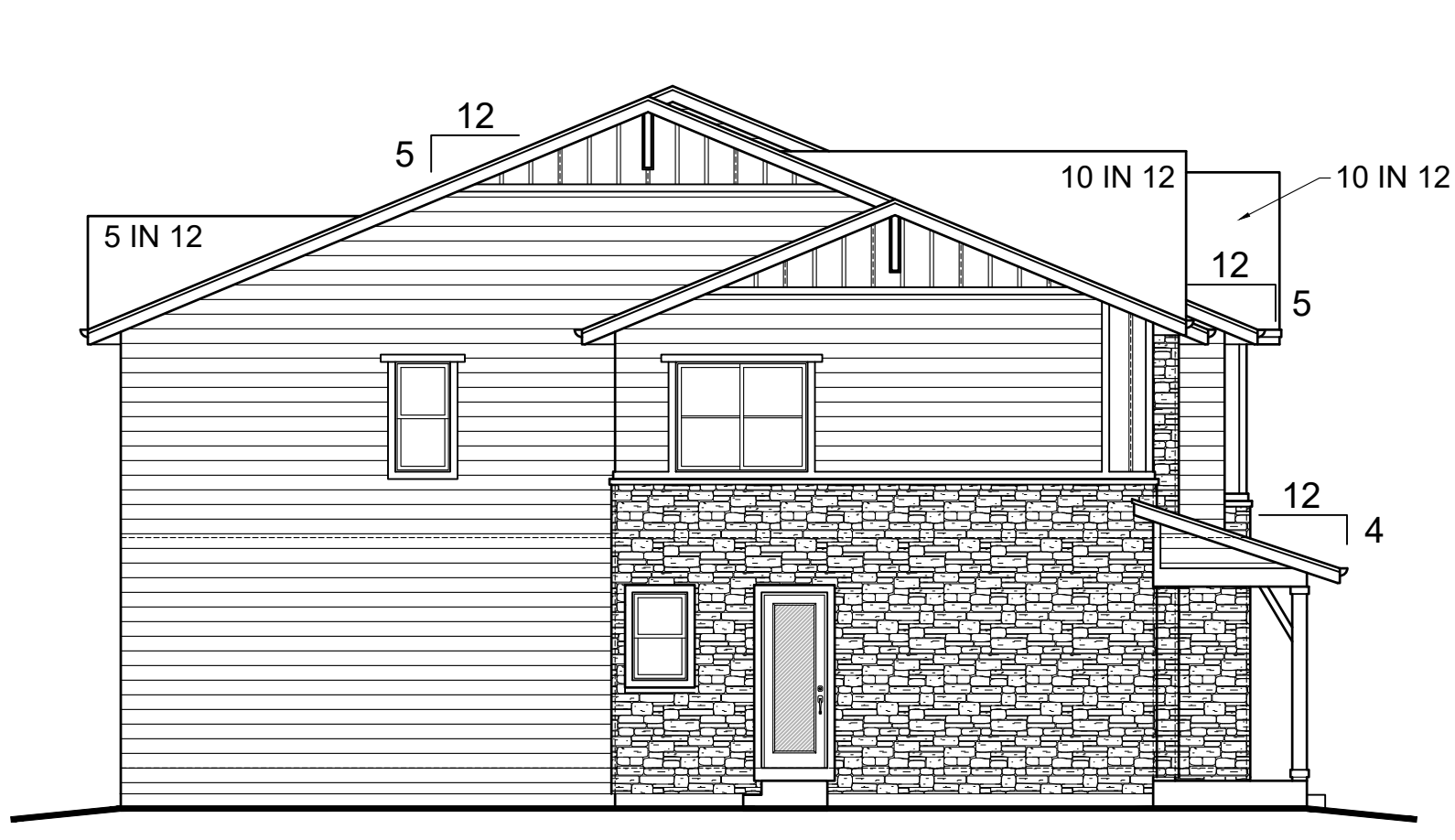
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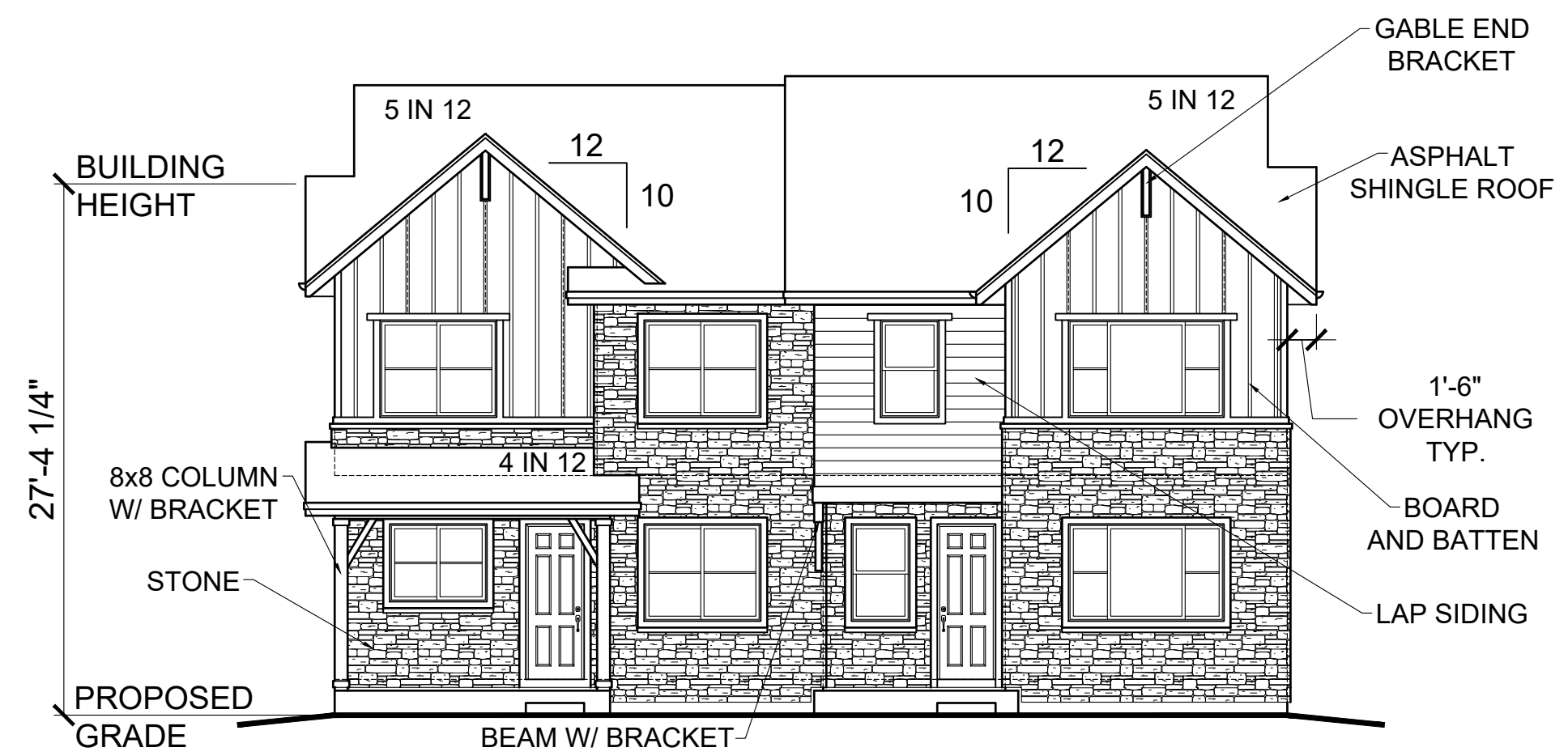
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UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23



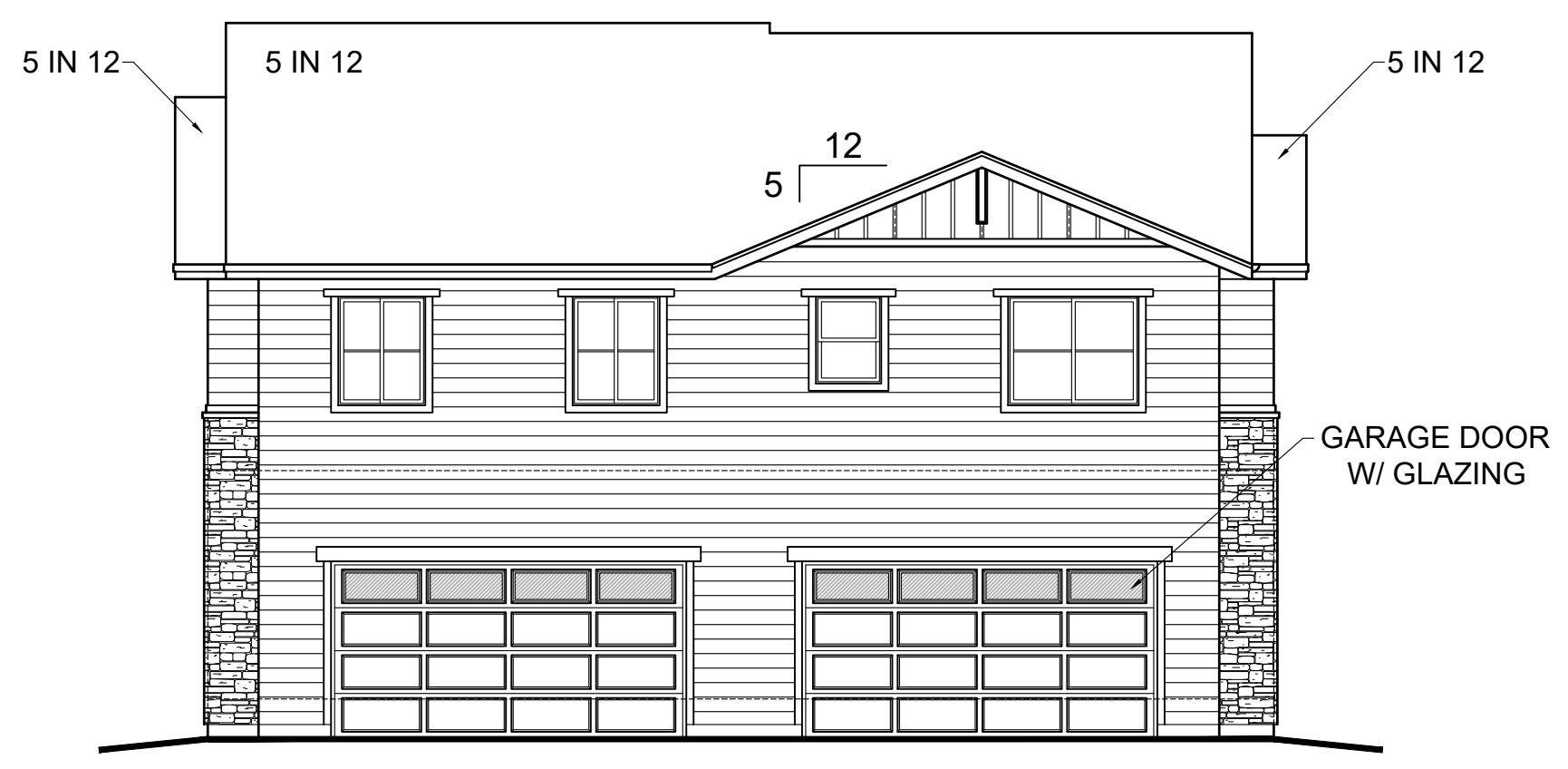
PLAN 2 & 3 ELEVATION 'A' - LEFT
29% MASONRY SCALE: 1/8" = 1'-0"



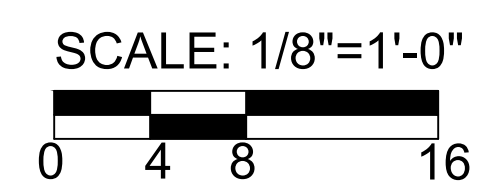
PLAN 2 & 3 ELEVATION 'A' - FRONT
54% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 2 & 3 ELEVATION 'A' - RIGHT
27% MASONRY SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'A' - REAR
10% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
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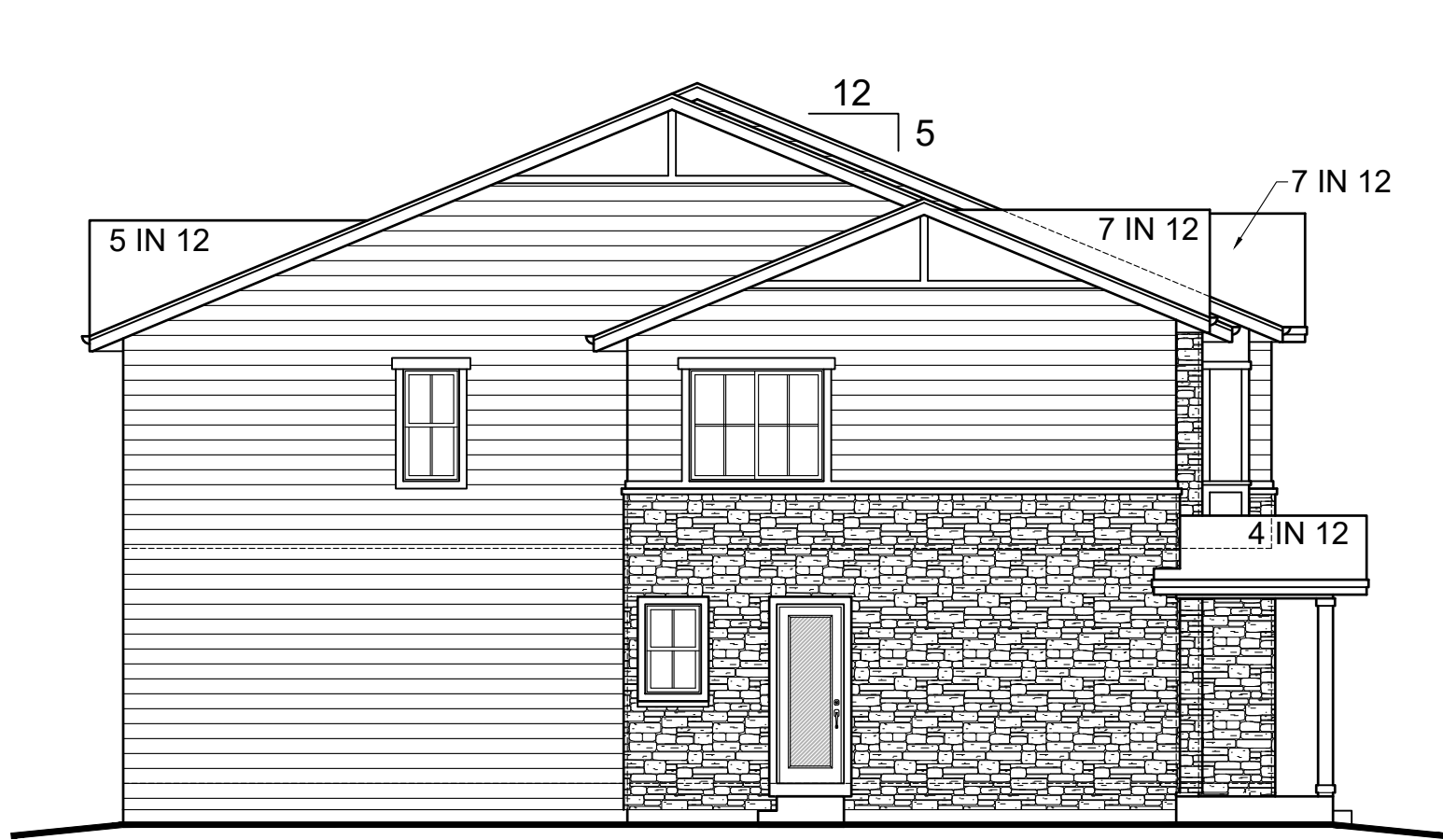
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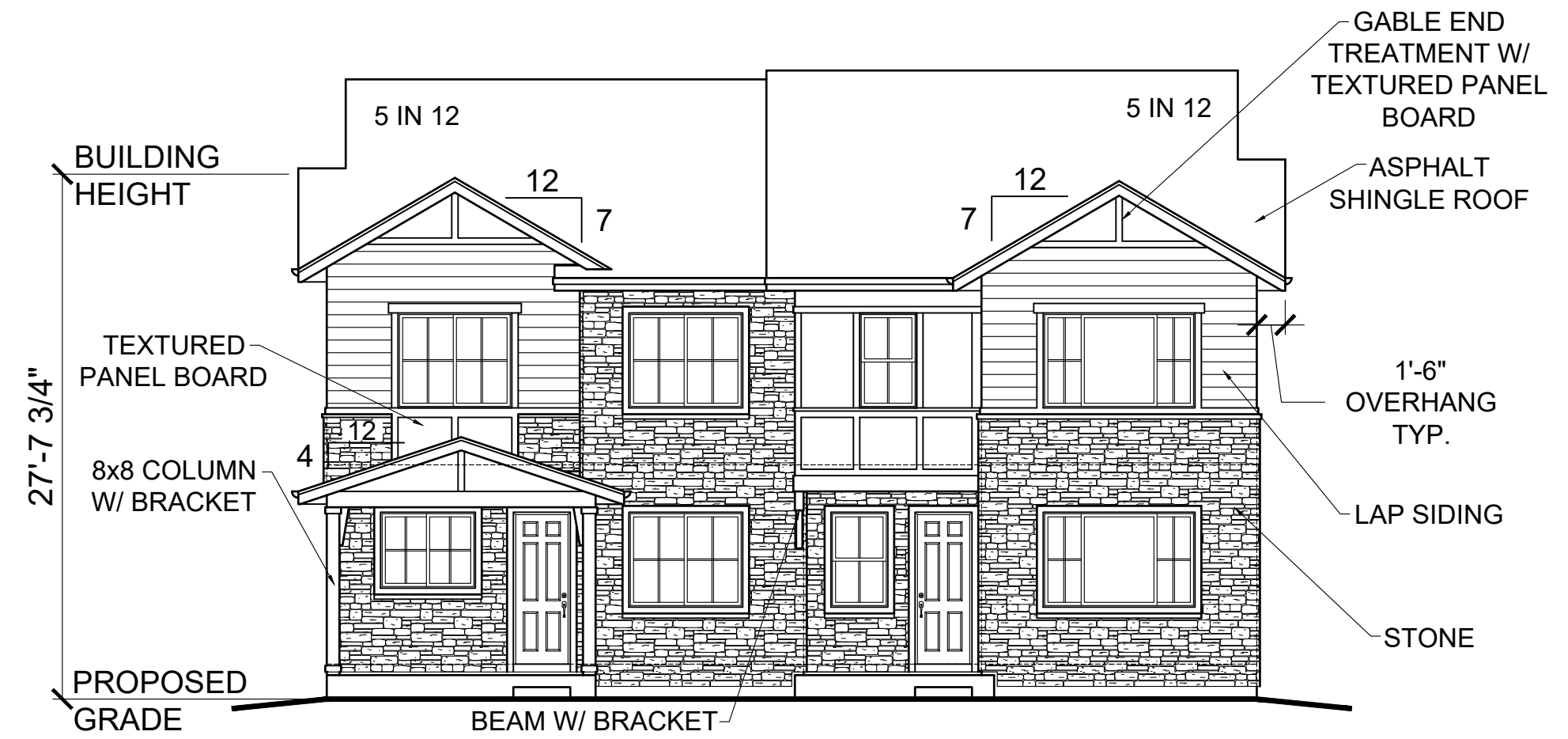
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UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

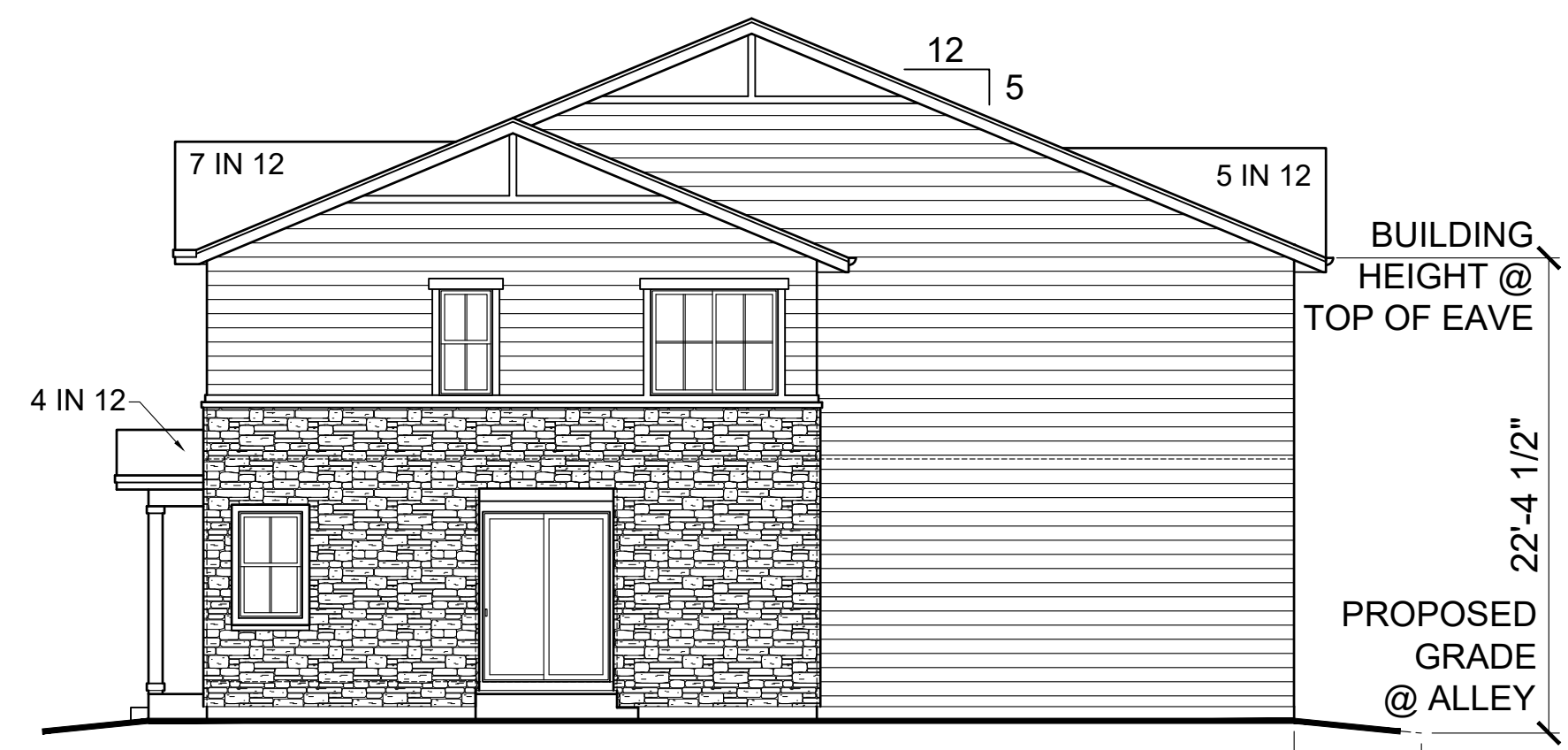
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
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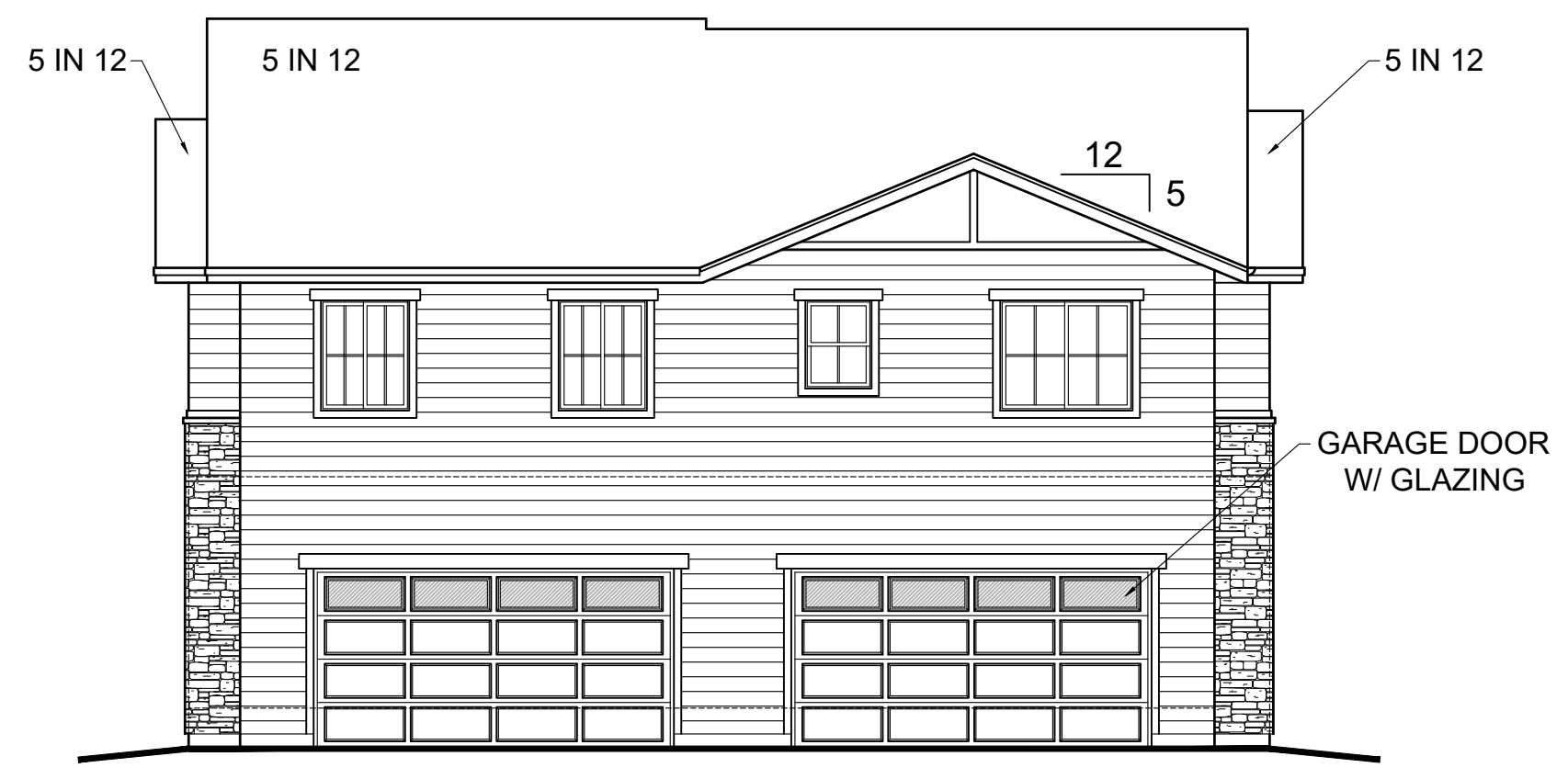
PLAN 2 & 3 ELEVATION 'B' - LEFT
29% MASONRY SCALE: 1/8" = 1'-0"



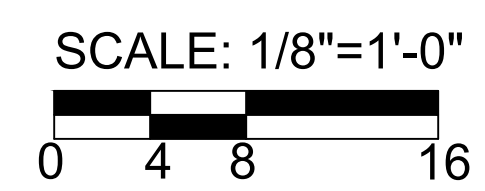
PLAN 2 & 3 ELEVATION 'B' - FRONT
54% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 2 & 3 ELEVATION 'B' - RIGHT
27% MASONRY SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'B' - REAR
10% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 59 OF 87

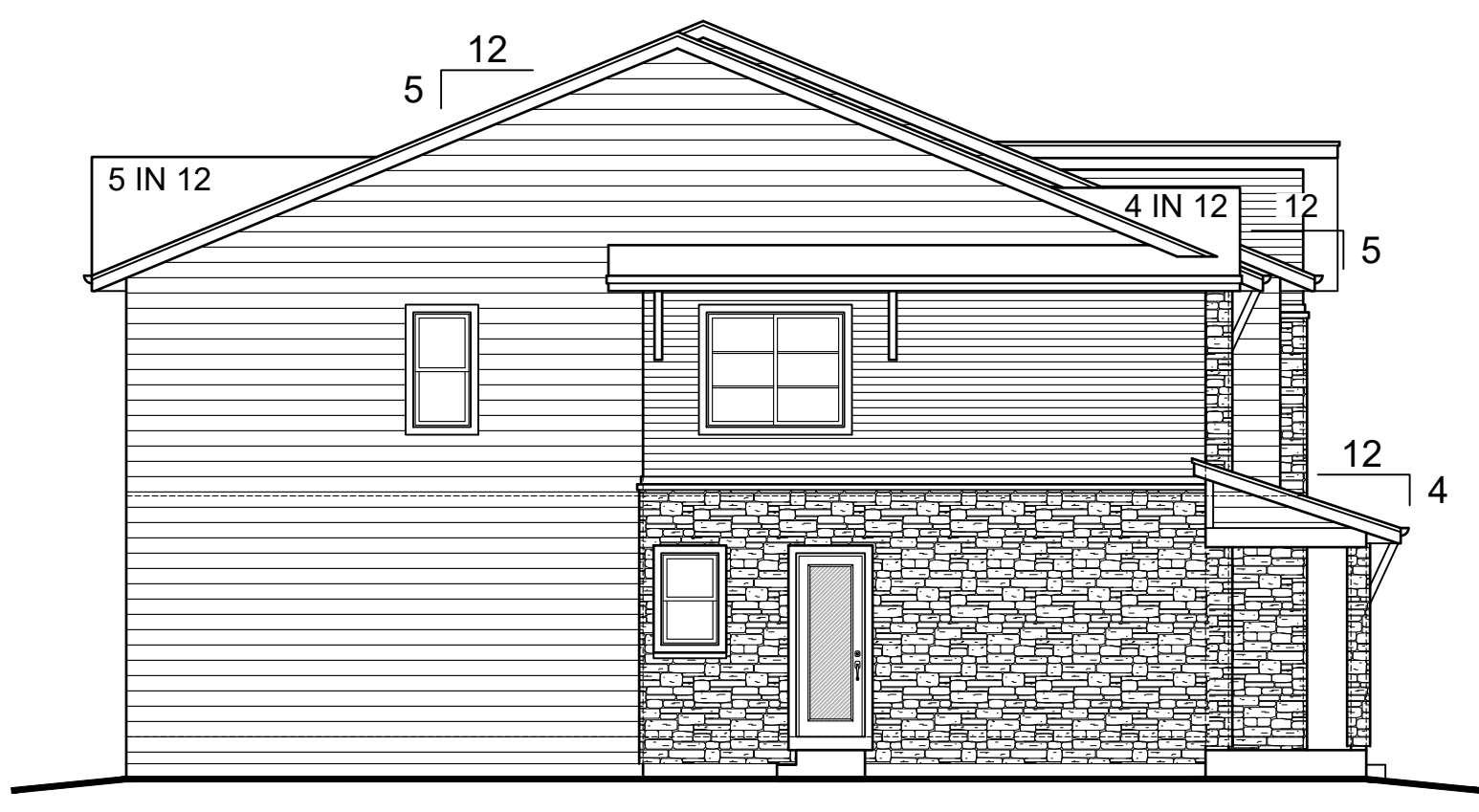
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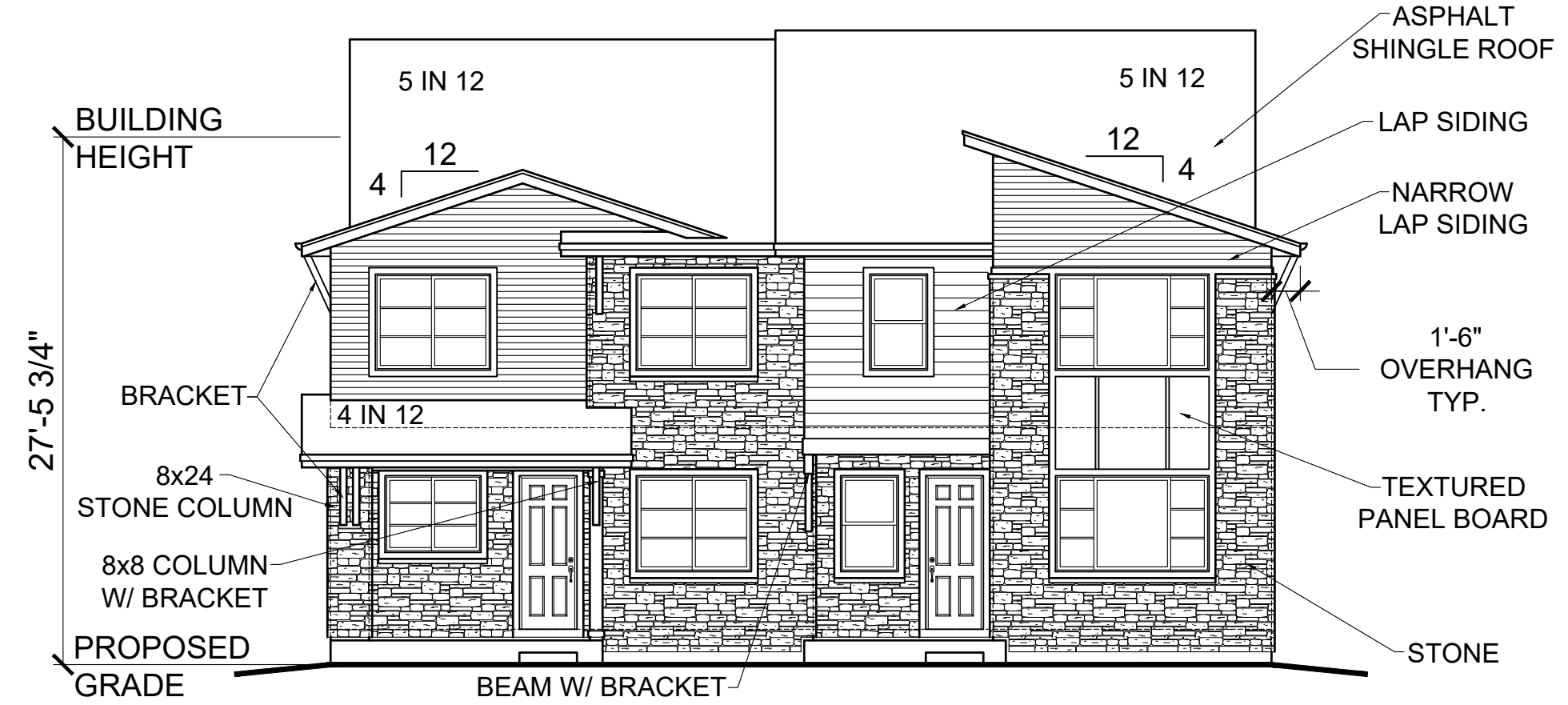
DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

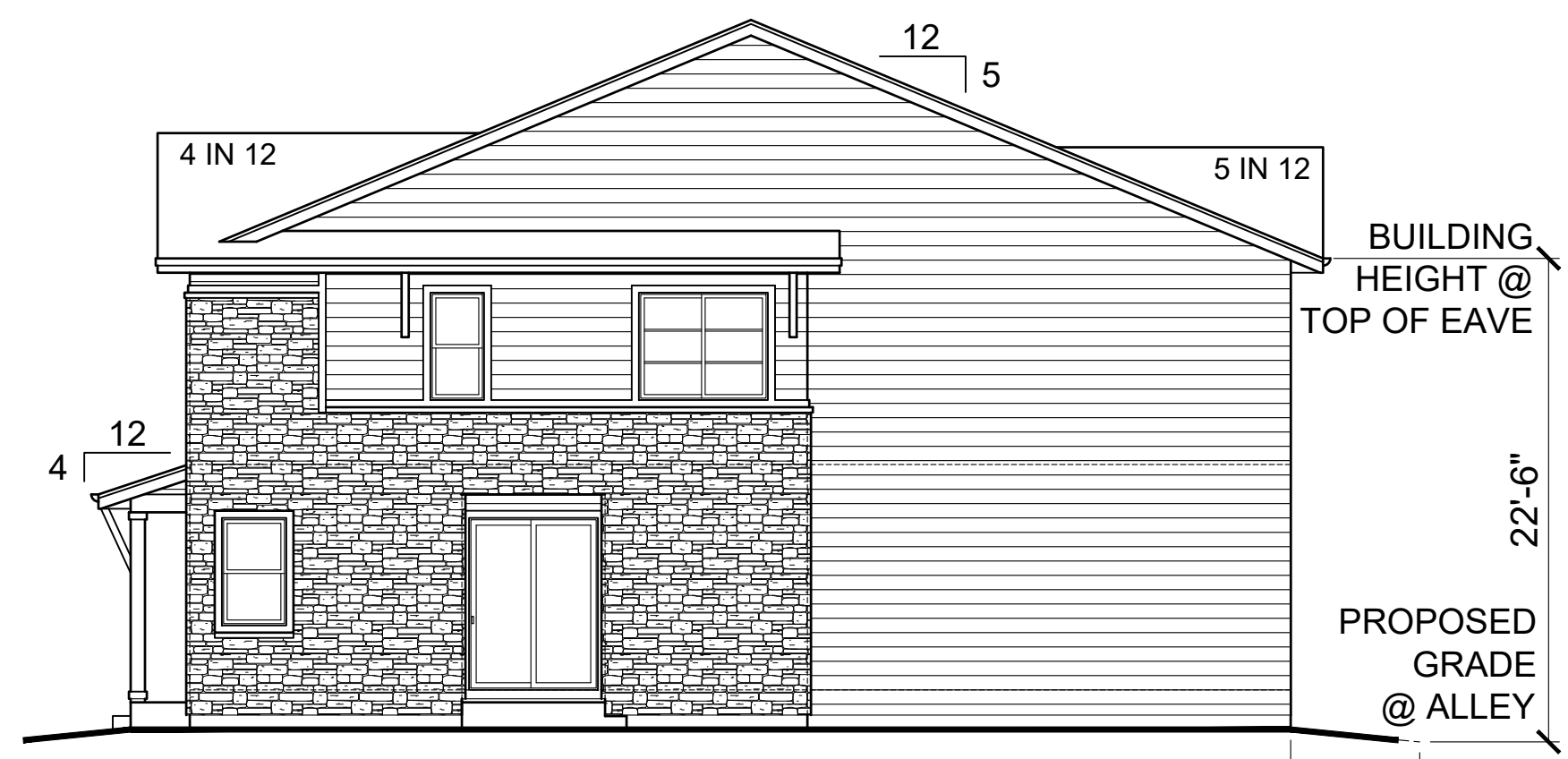
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23



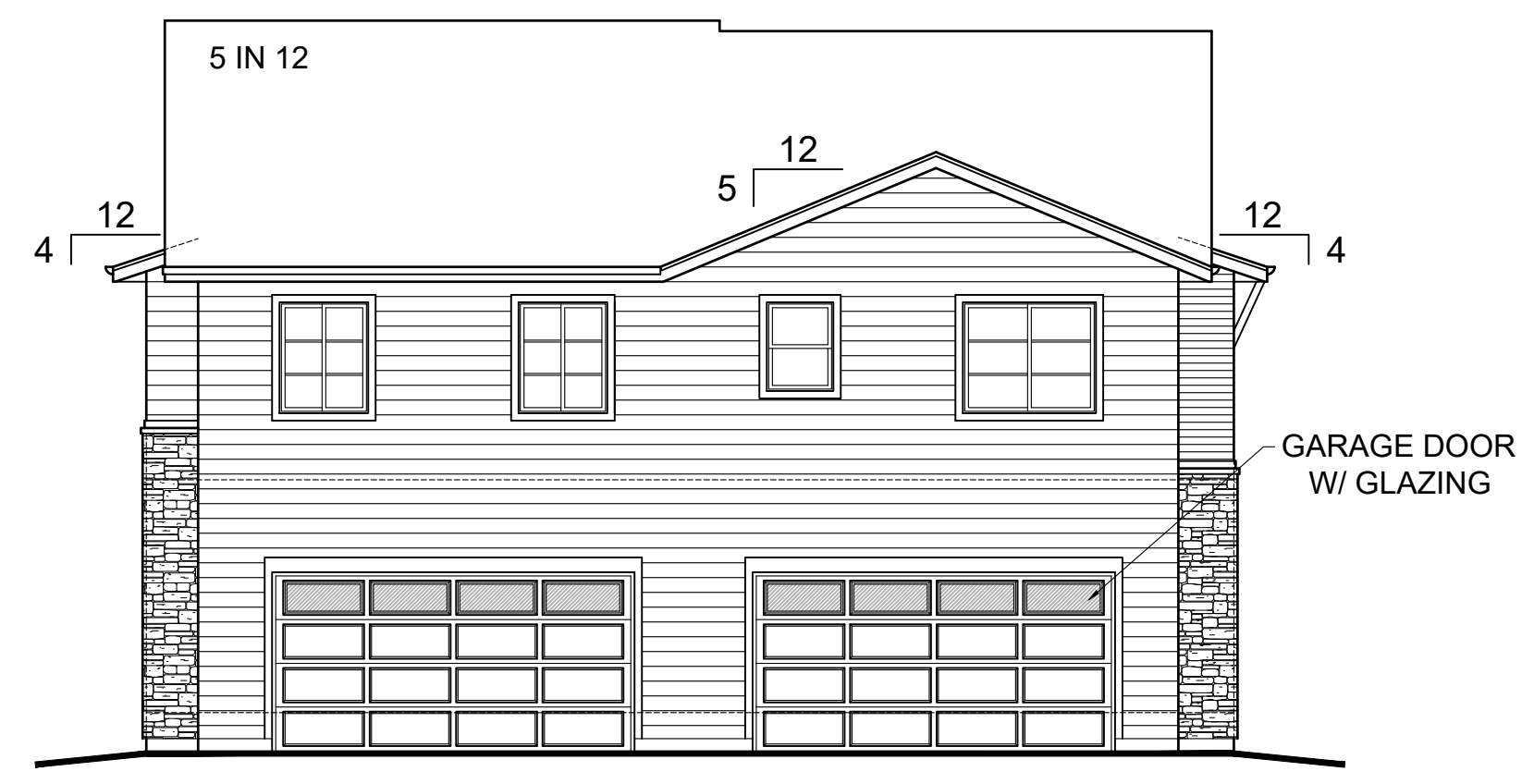
PLAN 2 & 3 ELEVATION 'C' - LEFT
26% MASONRY SCALE: 1/8" = 1'-0"



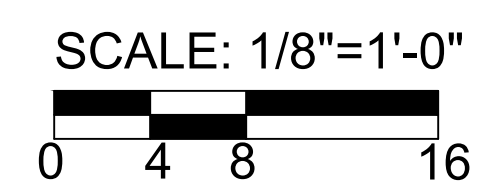
PLAN 2 & 3 ELEVATION 'C' - FRONT
54% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 2 & 3 ELEVATION 'C' - RIGHT
30% MASONRY SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'C' - REAR
9% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 60 OF 87

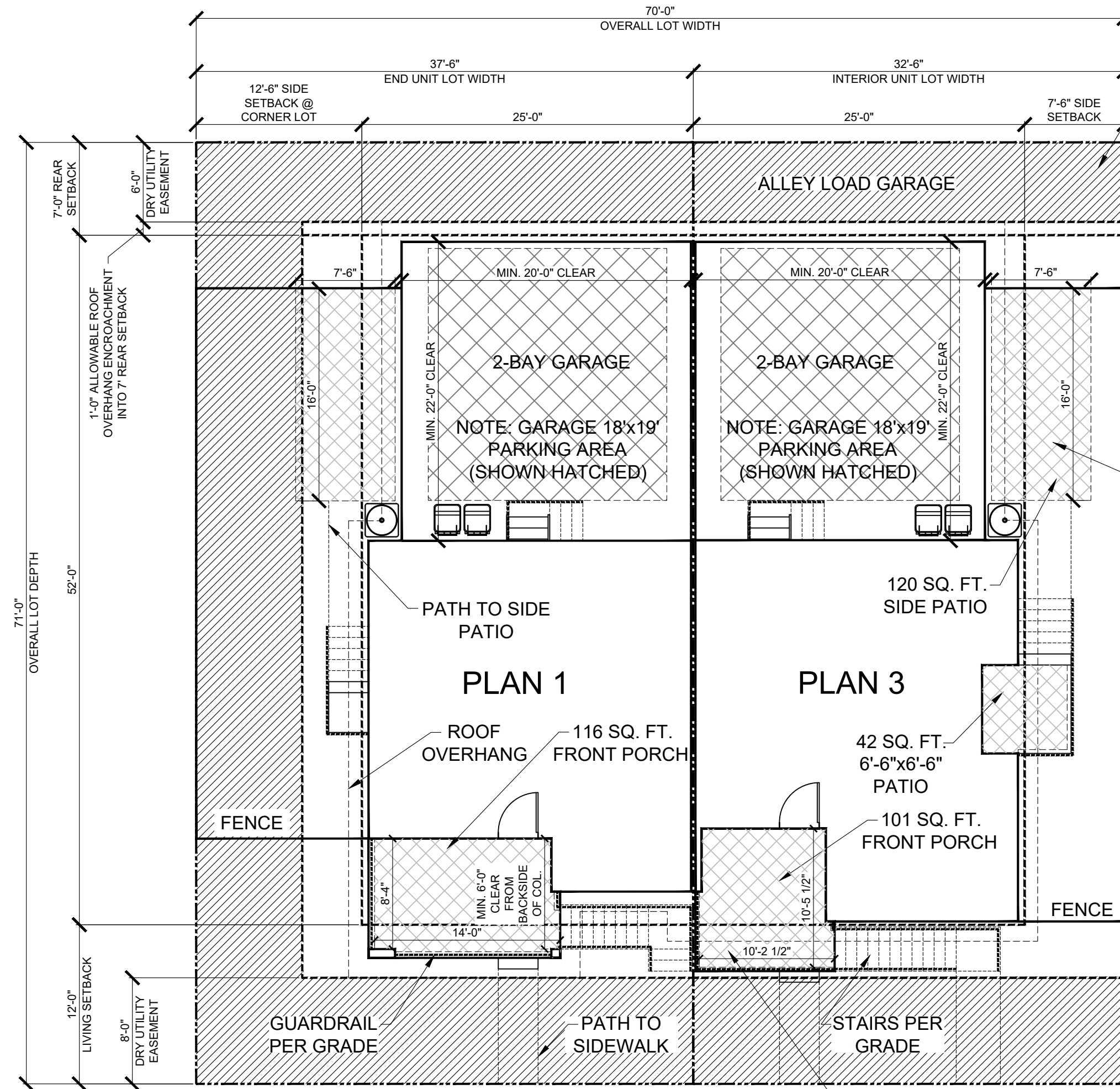
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UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



UTILITY EASEMENT (SHOWN HATCHED)

EA-A2A, REFER TO ELECTIVE CHARTS ON SHEET 5 & 6 OF THE ODP FOR ELECTIVE DESCRIPTION

EA-A1A5, REFER TO ELECTIVE CHARTS ON SHEET 5 & 6 OF THE ODP FOR ELECTIVE DESCRIPTION

EA-A2B3, REFER TO ELECTIVE CHARTS ON SHEET 5 & 6 OF THE ODP FOR ELECTIVE DESCRIPTION

PAIRED HOME LOT TYPICAL PLAN 1 & 3 - 1ST LEVEL

ELEVATION STYLE 'C' SHOWN, 'A' & 'B' SIMILAR SCALE: 1/8" = 1'-0"

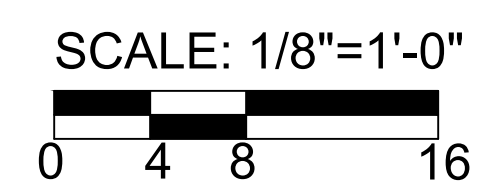
PLAN 1
 1,535 TOTAL SQ. FT.

PLAN 3
 1,720 TOTAL SQ. FT.

OUTDOOR LIVING: 236 TOTAL SQ. FT.
 FRONT PORCH: 116 SQ. FT.
 SIDE PATIO: 120 SQ. FT.

OUTDOOR LIVING: 263 TOTAL SQ. FT.
 FRONT PORCH: 101 SQ. FT.
 SIDE PATIO: 120 SQ. FT.
 6'-6" x 6'-6" PATIO: 42 SQ. FT.

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE SCREENED WITH YEAR-ROUND LANDSCAPING, OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT
 4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY



OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
	SUB-02: 04.13.23
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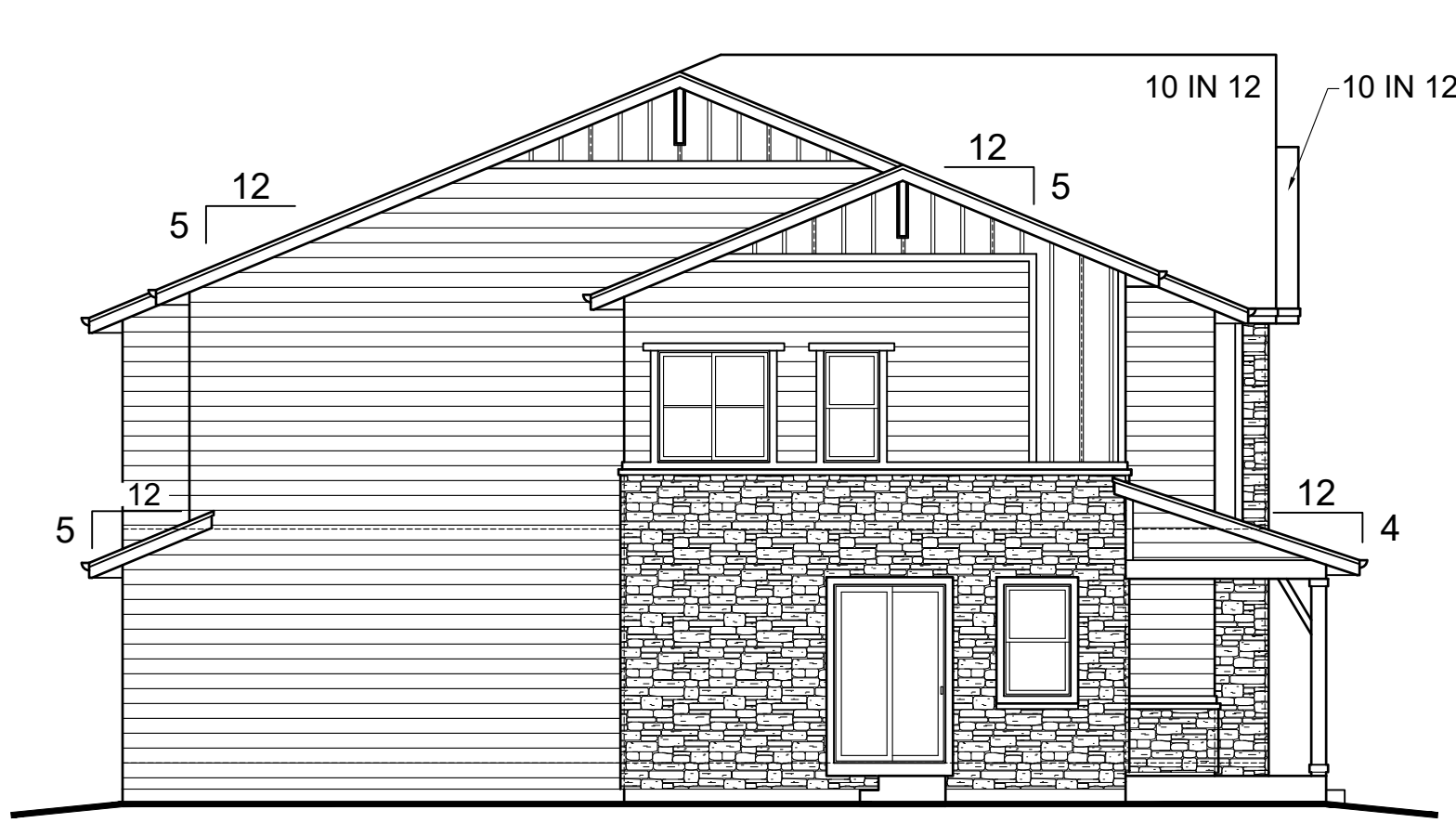
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 61 OF 87

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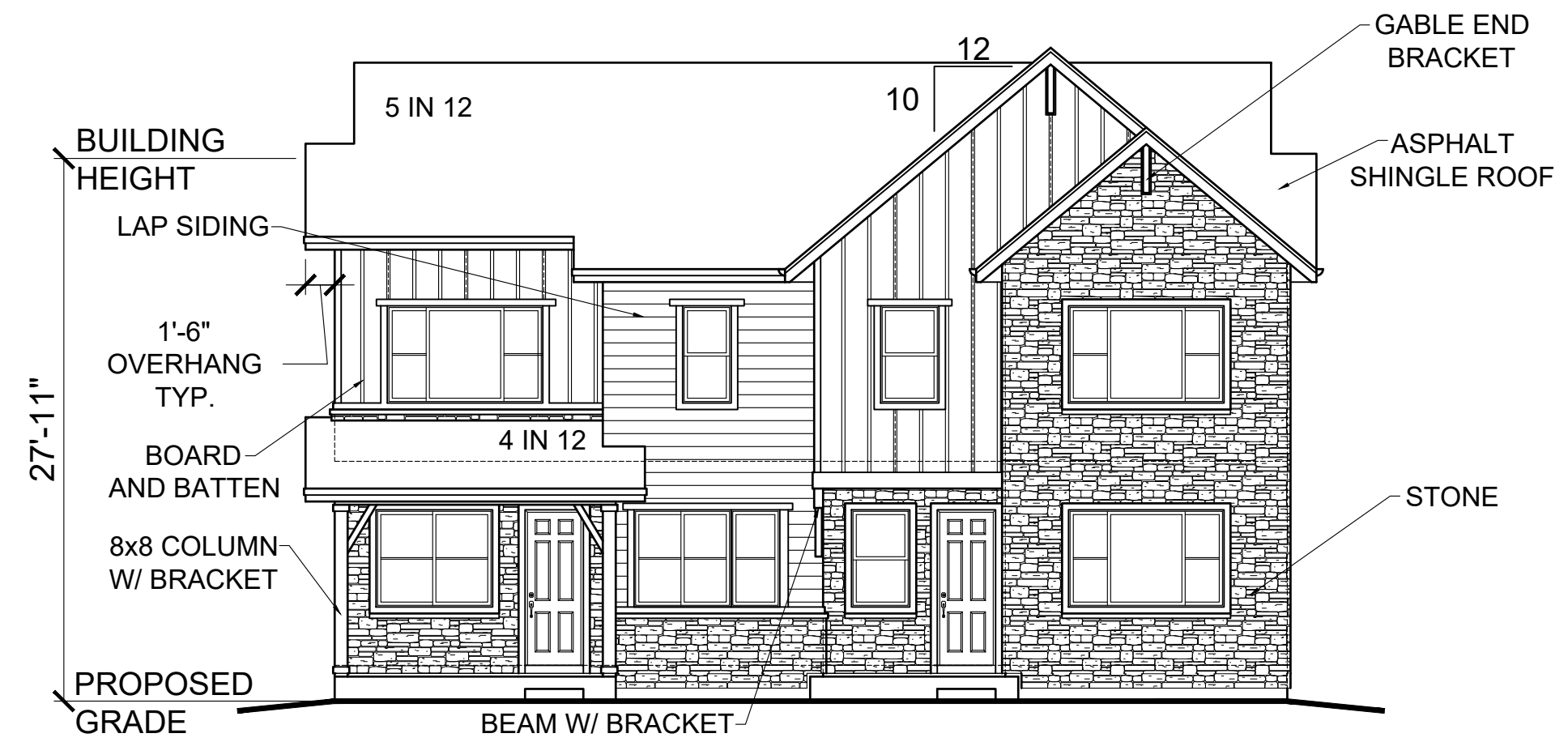
UPLANDS
DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

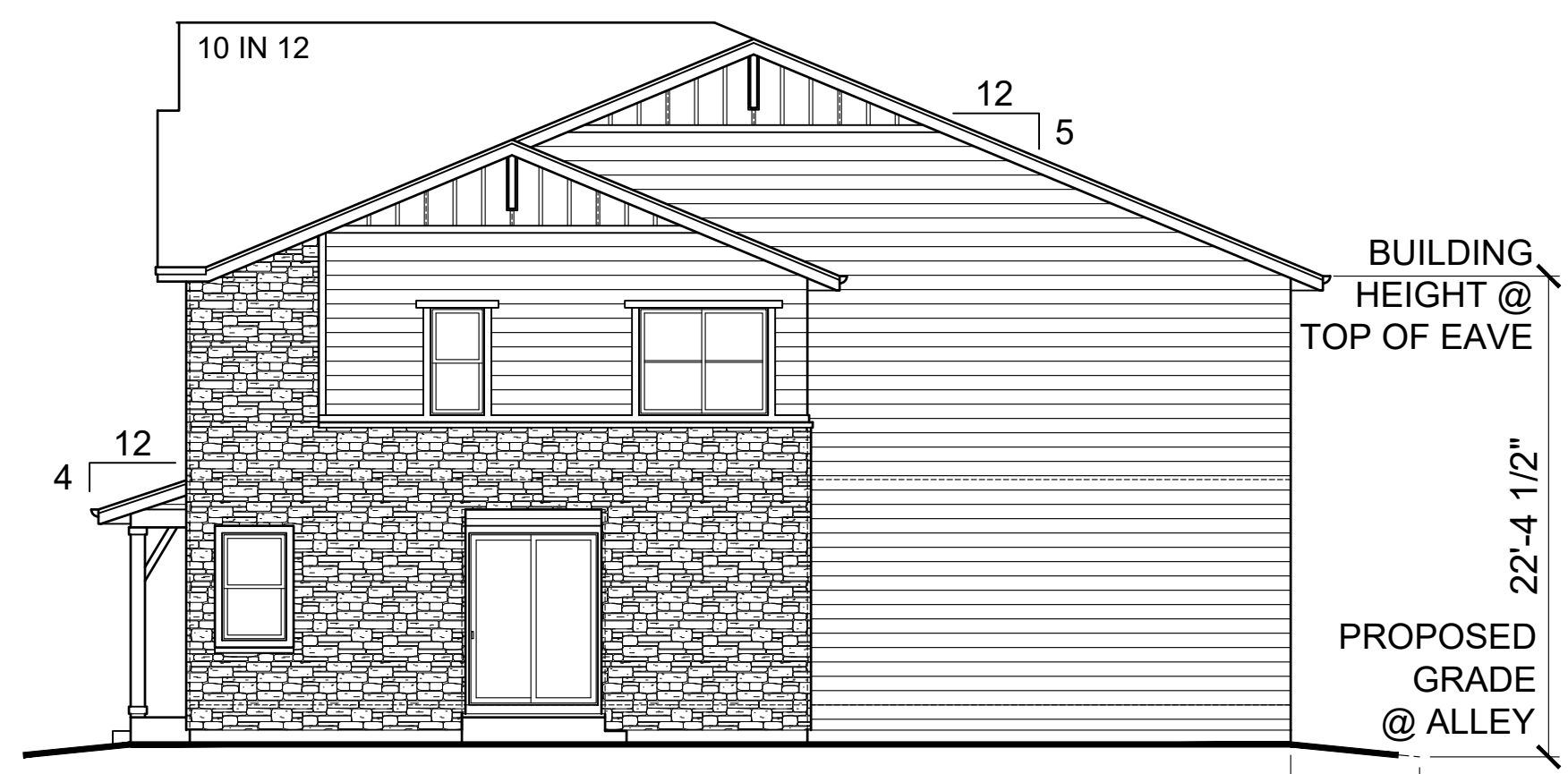
OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
SUB-03: 06.07.23



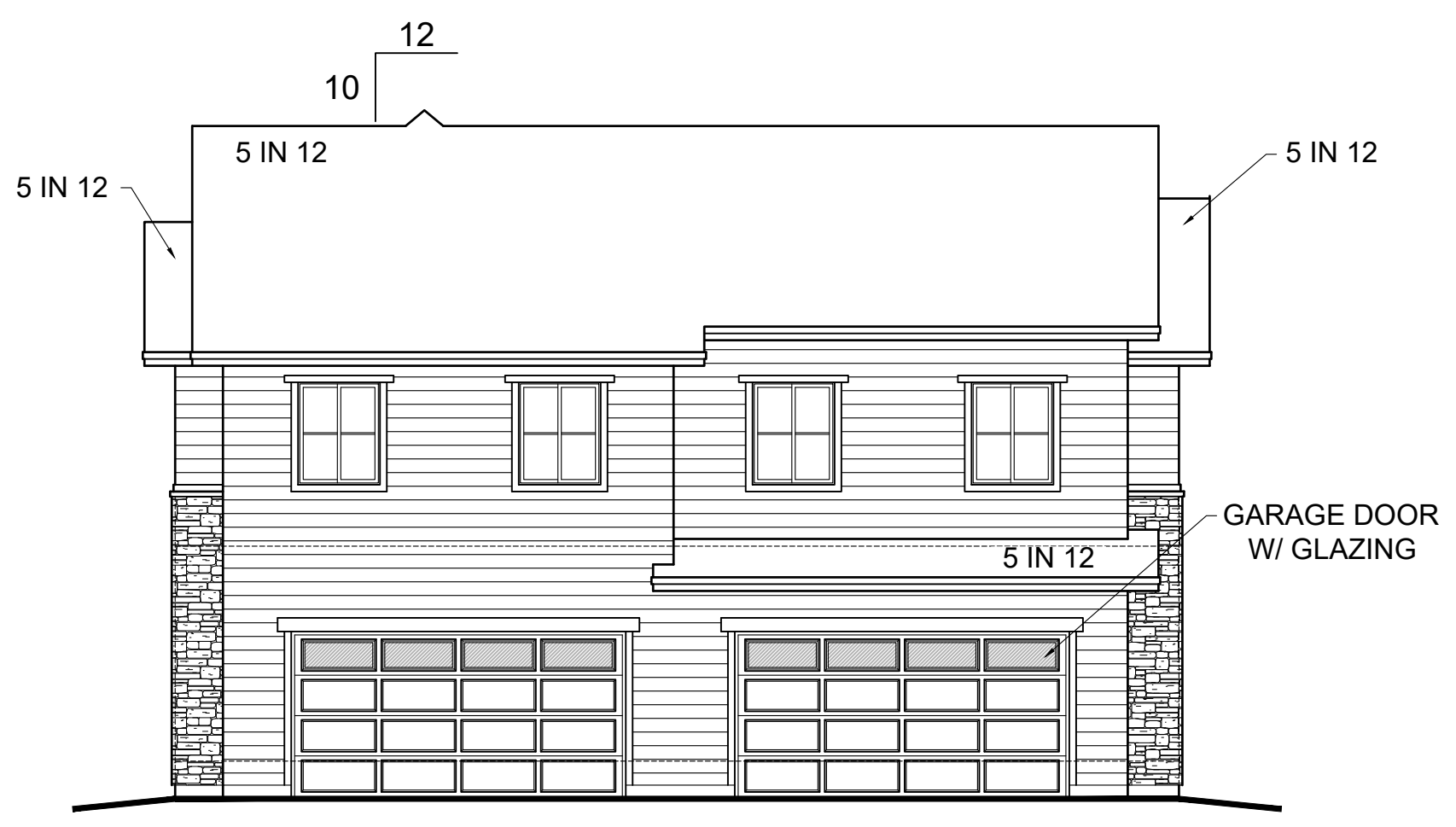
PLAN 1 & 3 ELEVATION 'A' - LEFT
24% MASONRY SCALE: 1/8" = 1'-0"



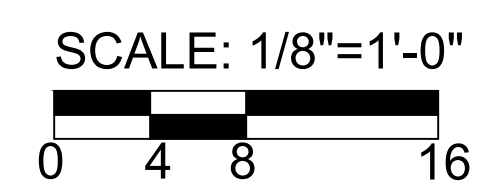
PLAN 1 & 3 ELEVATION 'A' - FRONT
49% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 1 & 3 ELEVATION 'A' - RIGHT
31% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'A' - REAR
11% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 62 OF 87

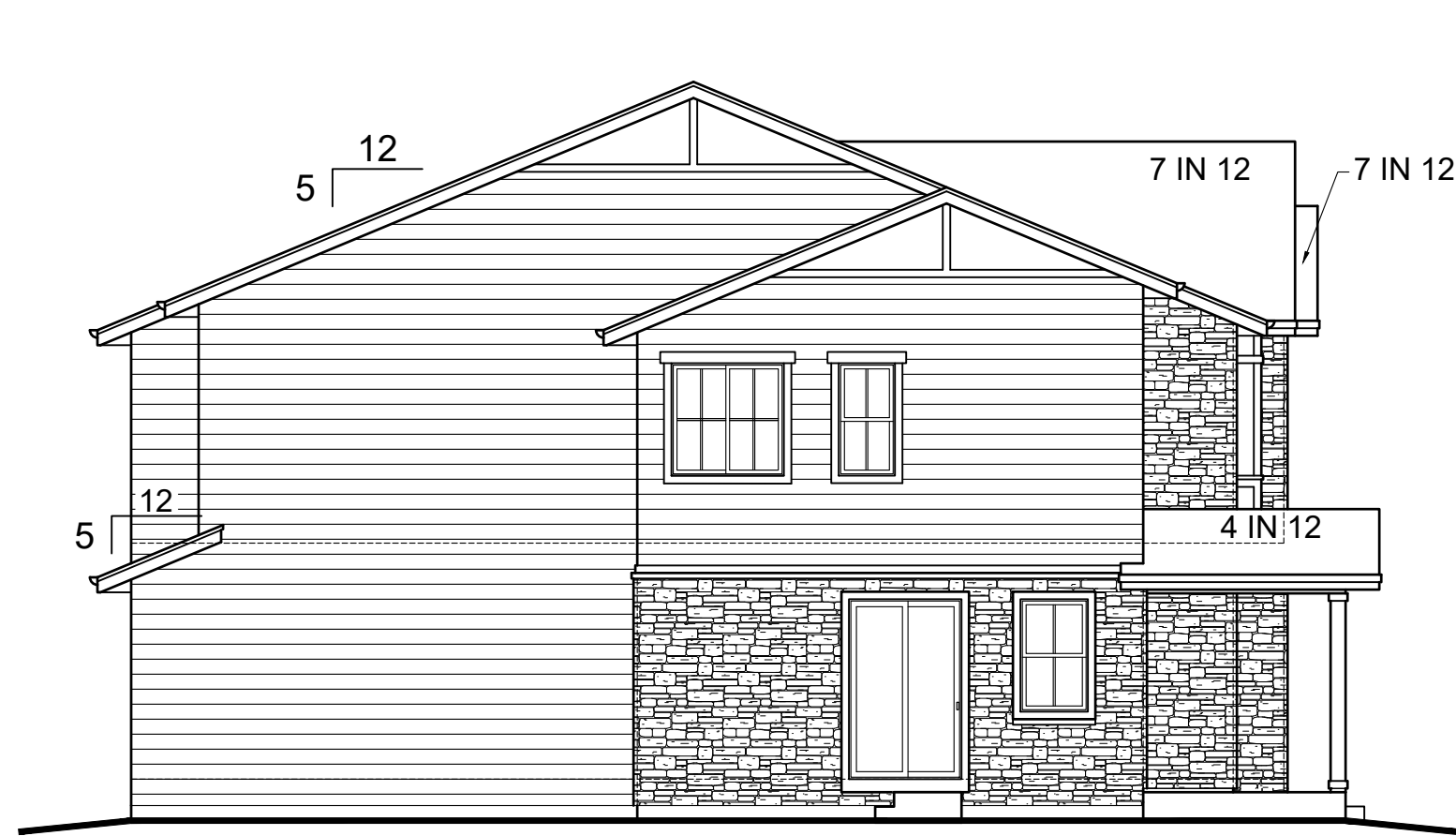
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UPLANDS

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OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023
REVISIONS
SUB-02: 04.13.23
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PLAN 1 & 3 ELEVATION 'B' - LEFT
22% MASONRY SCALE: 1/8" = 1'-0"



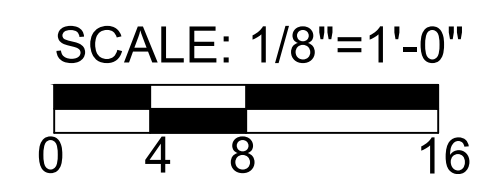
PLAN 1 & 3 ELEVATION 'B' - FRONT
58% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
30% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 1 & 3 ELEVATION 'B' - RIGHT
29% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'B' - REAR
10% MASONRY SCALE: 1/8" = 1'-0"



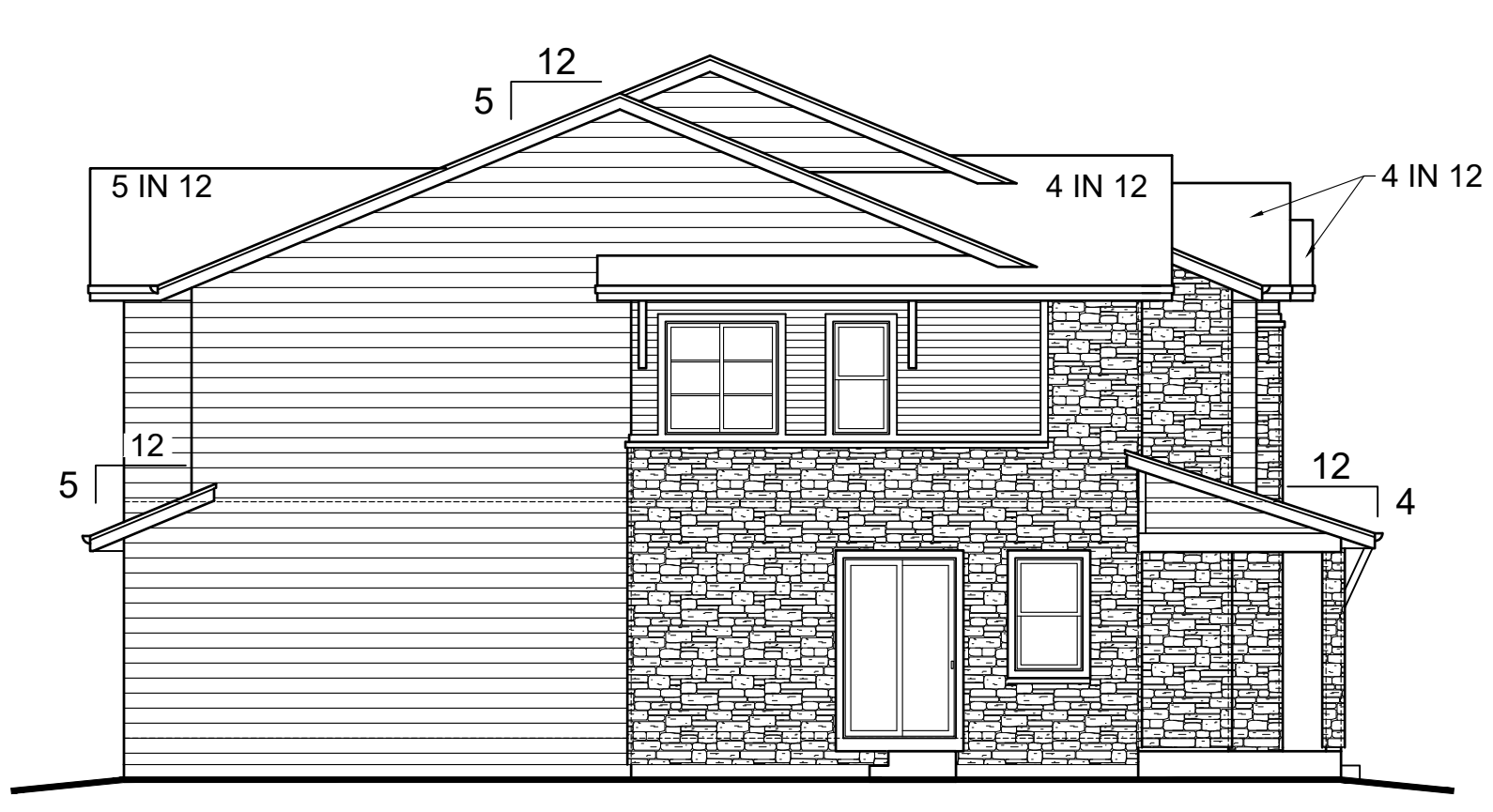
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 63 OF 87

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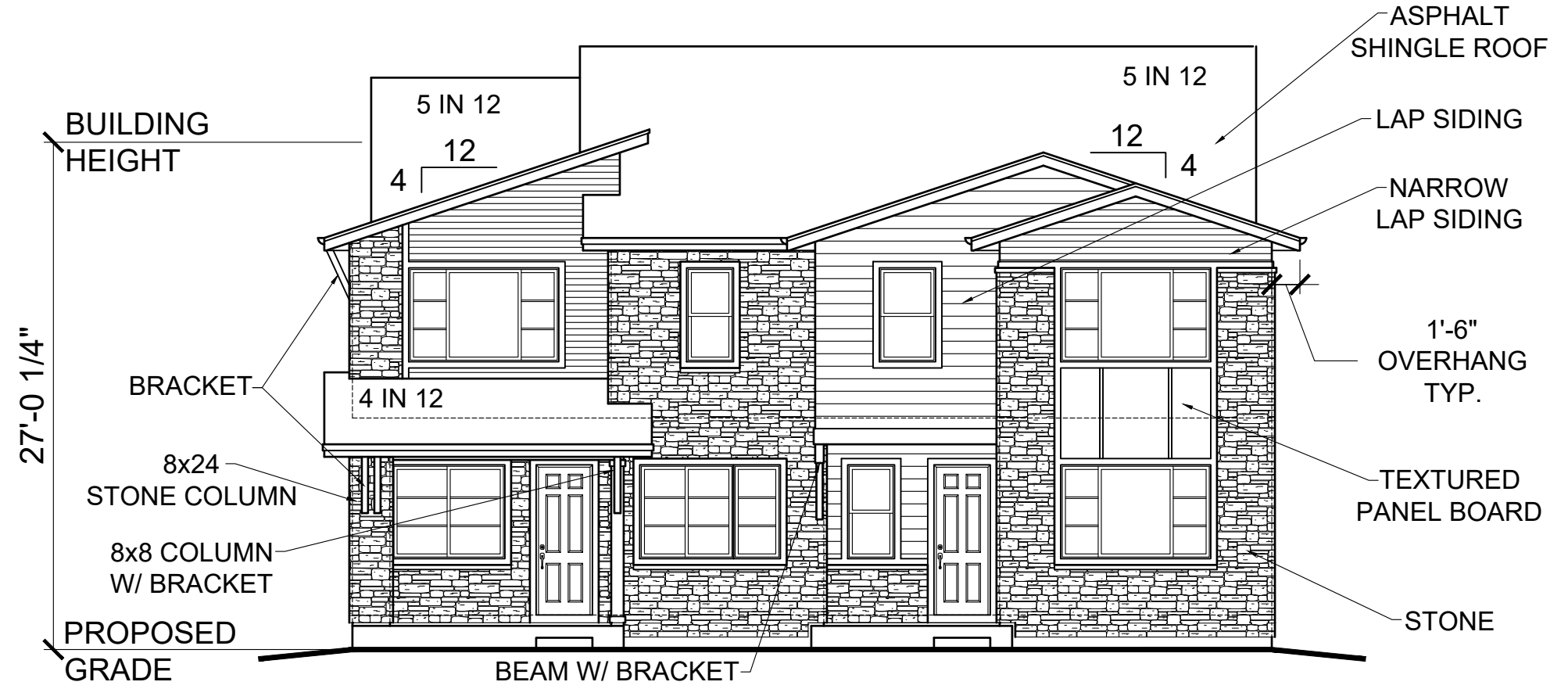
UPLANDS
DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

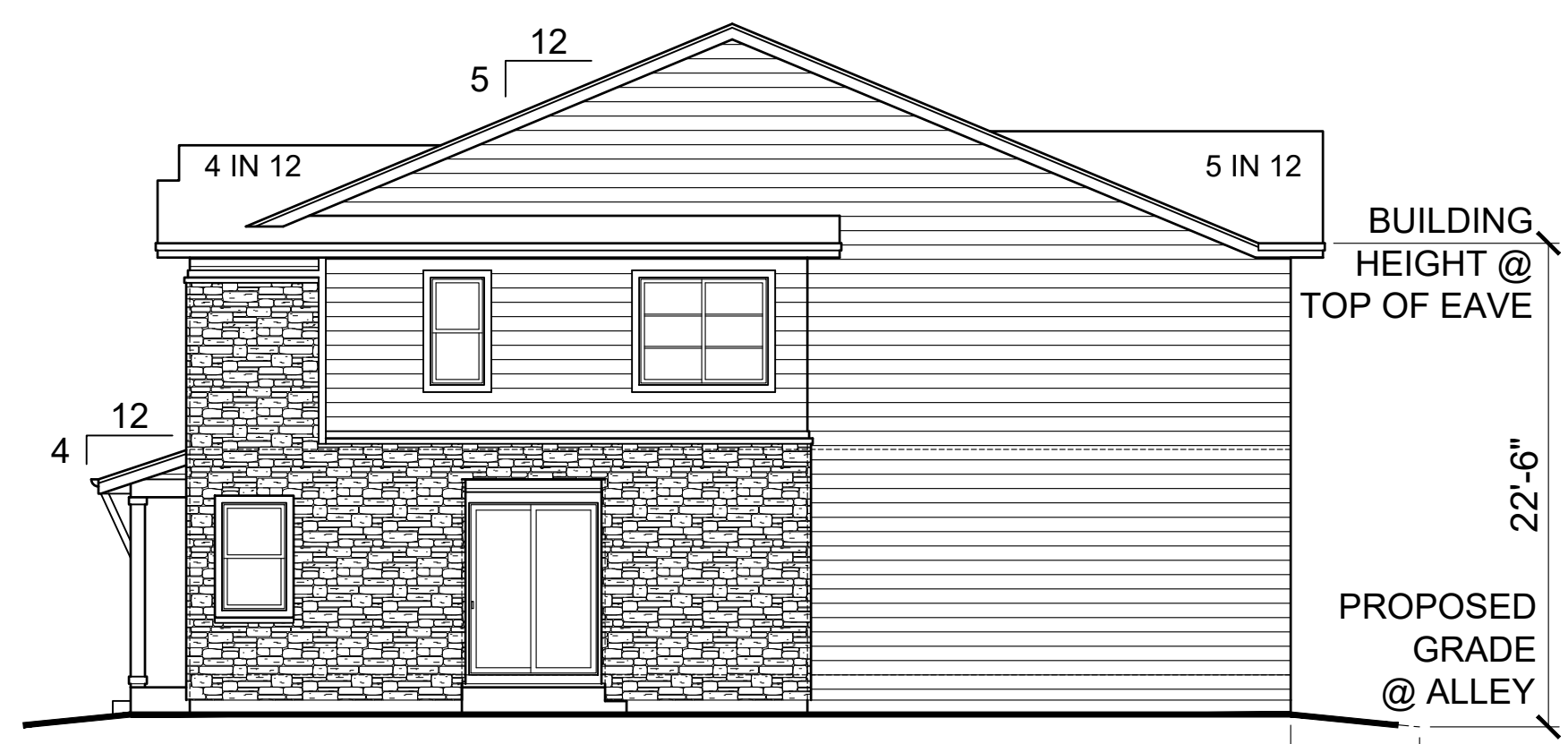
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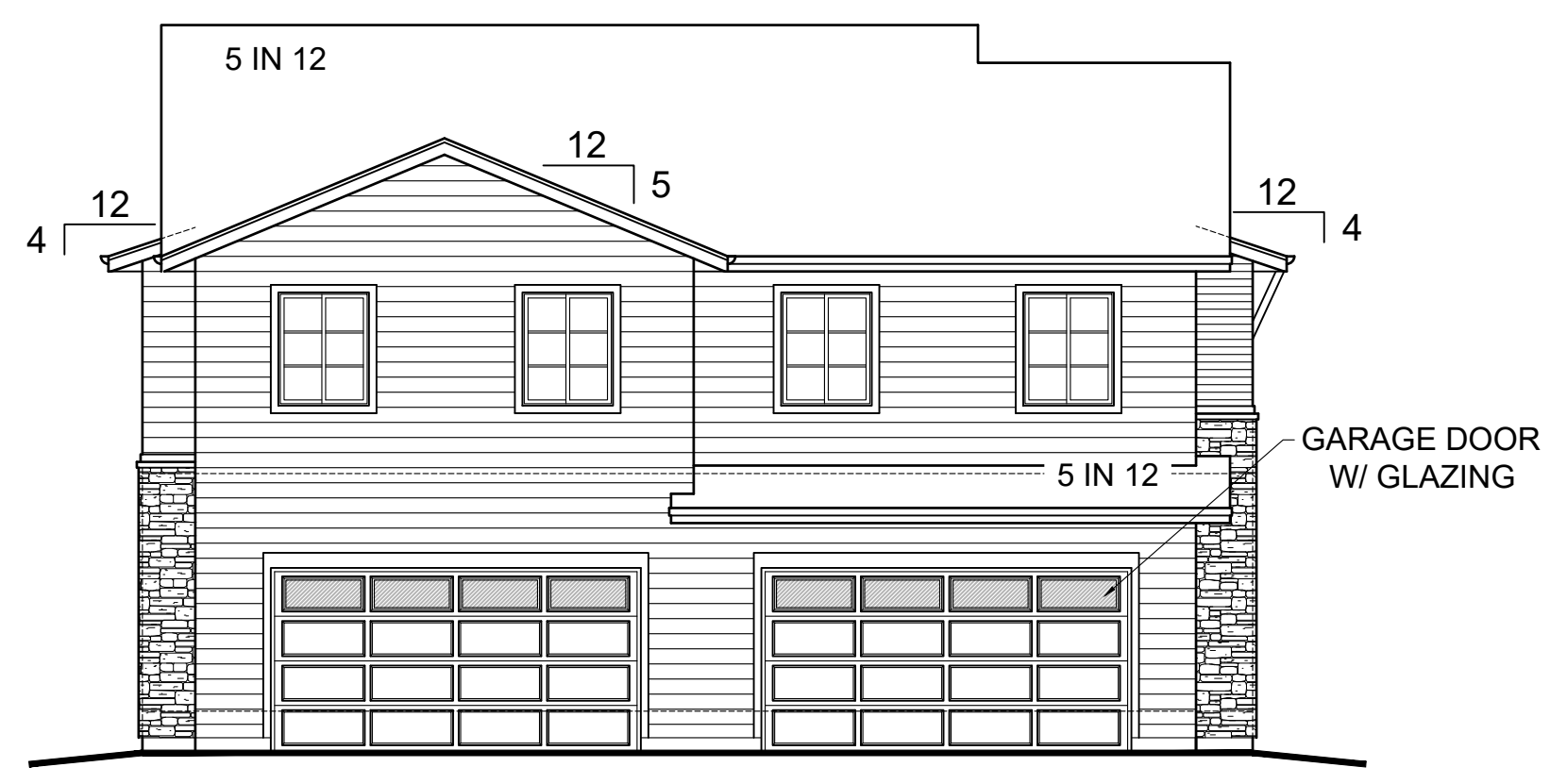
PLAN 1 & 3 ELEVATION 'C' - LEFT
34% MASONRY SCALE: 1/8" = 1'-0"



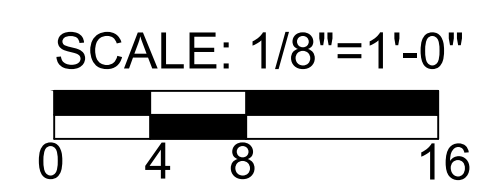
PLAN 1 & 3 ELEVATION 'C' - FRONT
55% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"
31% MASONRY AVERAGE TOTAL (30% REQ.)



PLAN 1 & 3 ELEVATION 'C' - RIGHT
27% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'C' - REAR
9% MASONRY SCALE: 1/8" = 1'-0"

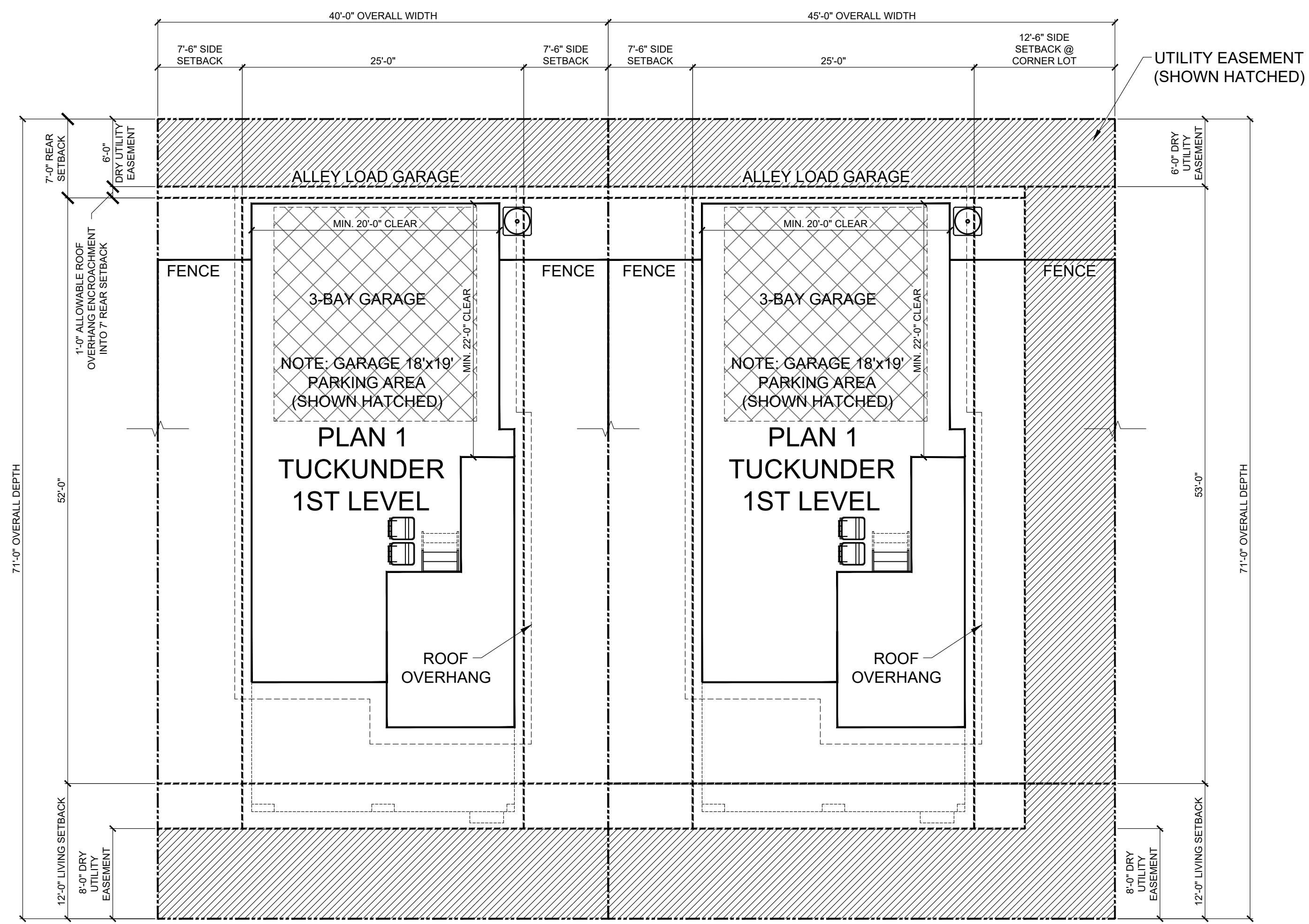


OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 64 OF 87

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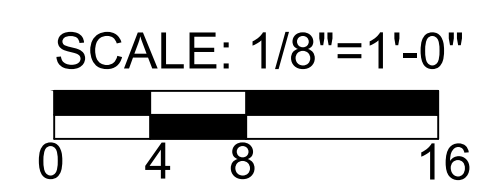
DATE: 06.07.2023



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 1 - 1ST LEVEL

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE SCREENED WITH YEAR-ROUND LANDSCAPING, OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT
 4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY



UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
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	SUB-03: 06.07.23

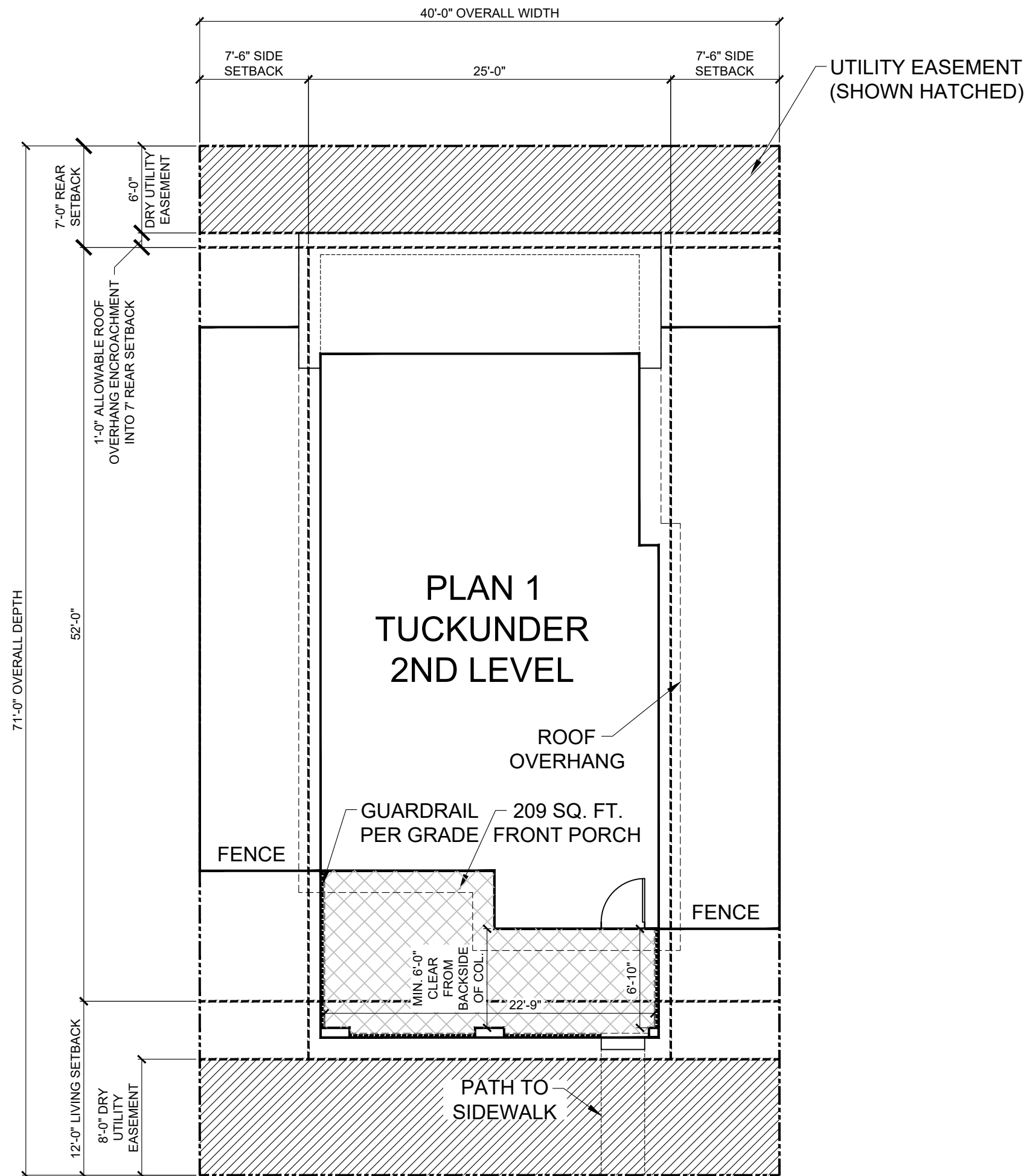
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 65 OF 87

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OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

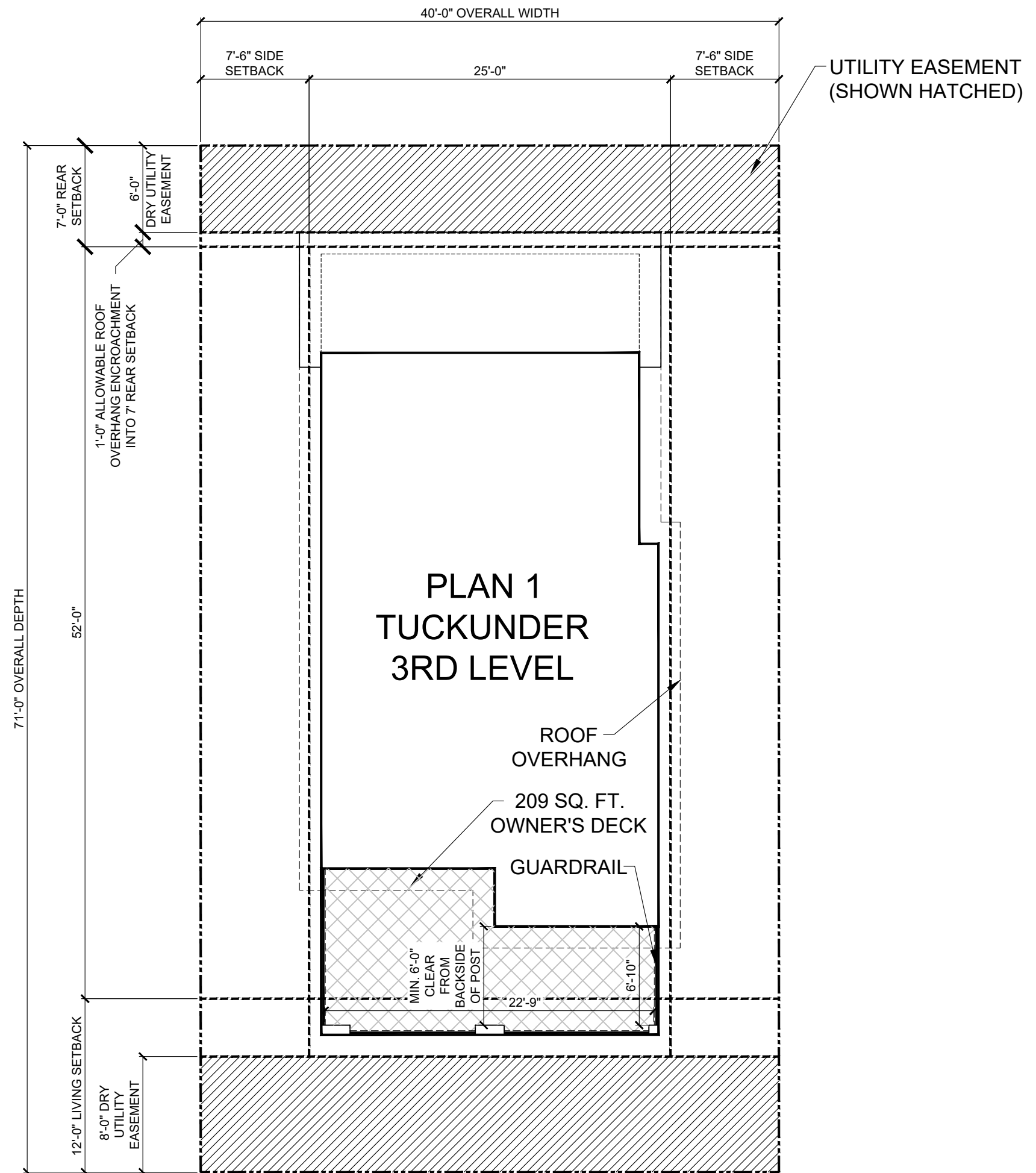


SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 1 - 2ND LEVEL

1,848 TOTAL SQ. FT.

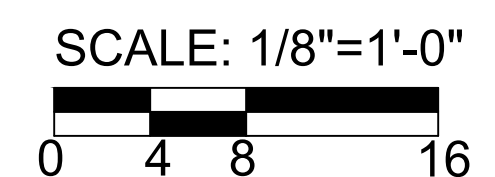
SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 418 TOTAL SQ. FT.
 FRONT PORCH: 209 SQ. FT.
 OWNER'S DECK: 209 SQ. FT.



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 1 - 3RD LEVEL

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

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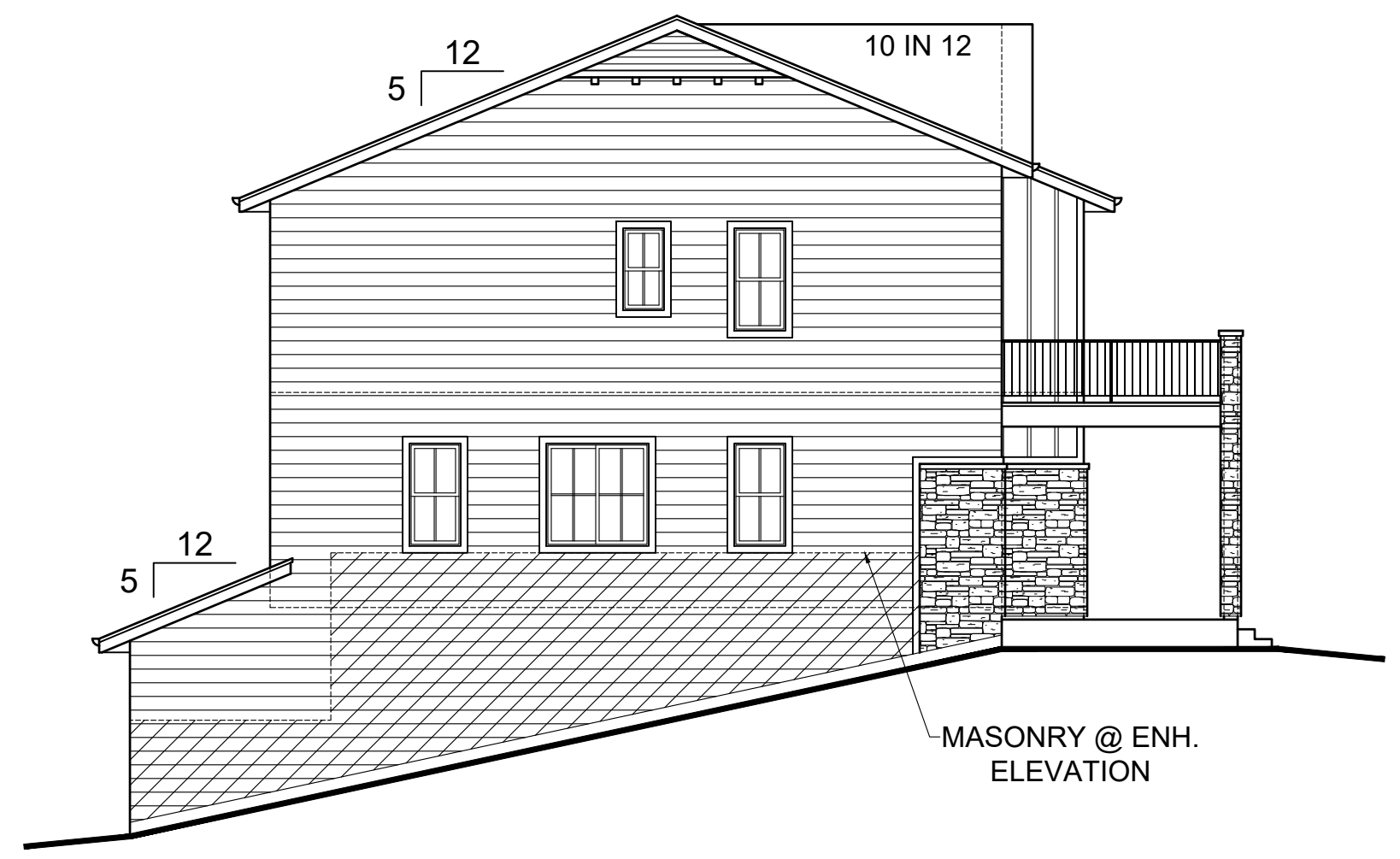
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
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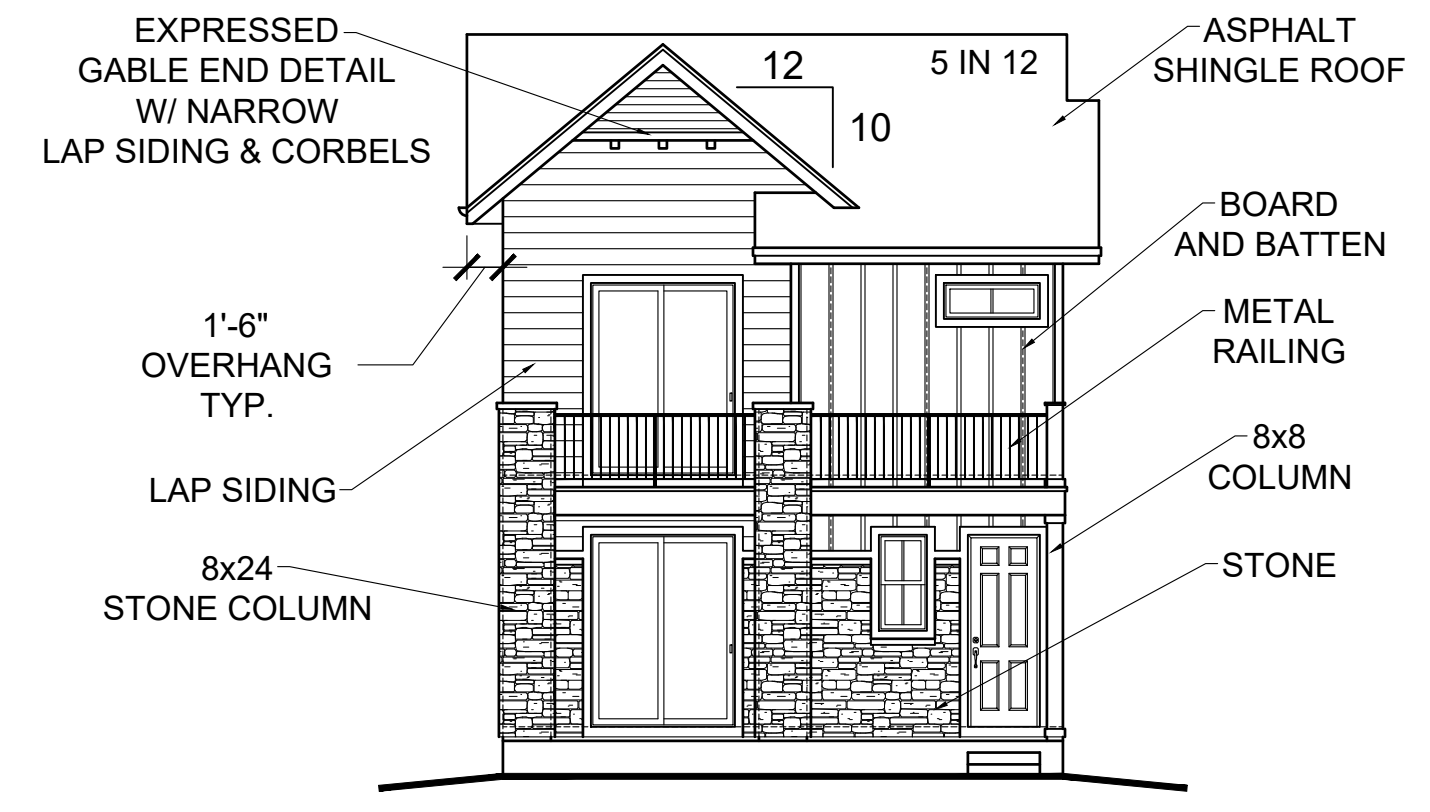
UPLANDS

DATE: 06.07.2023

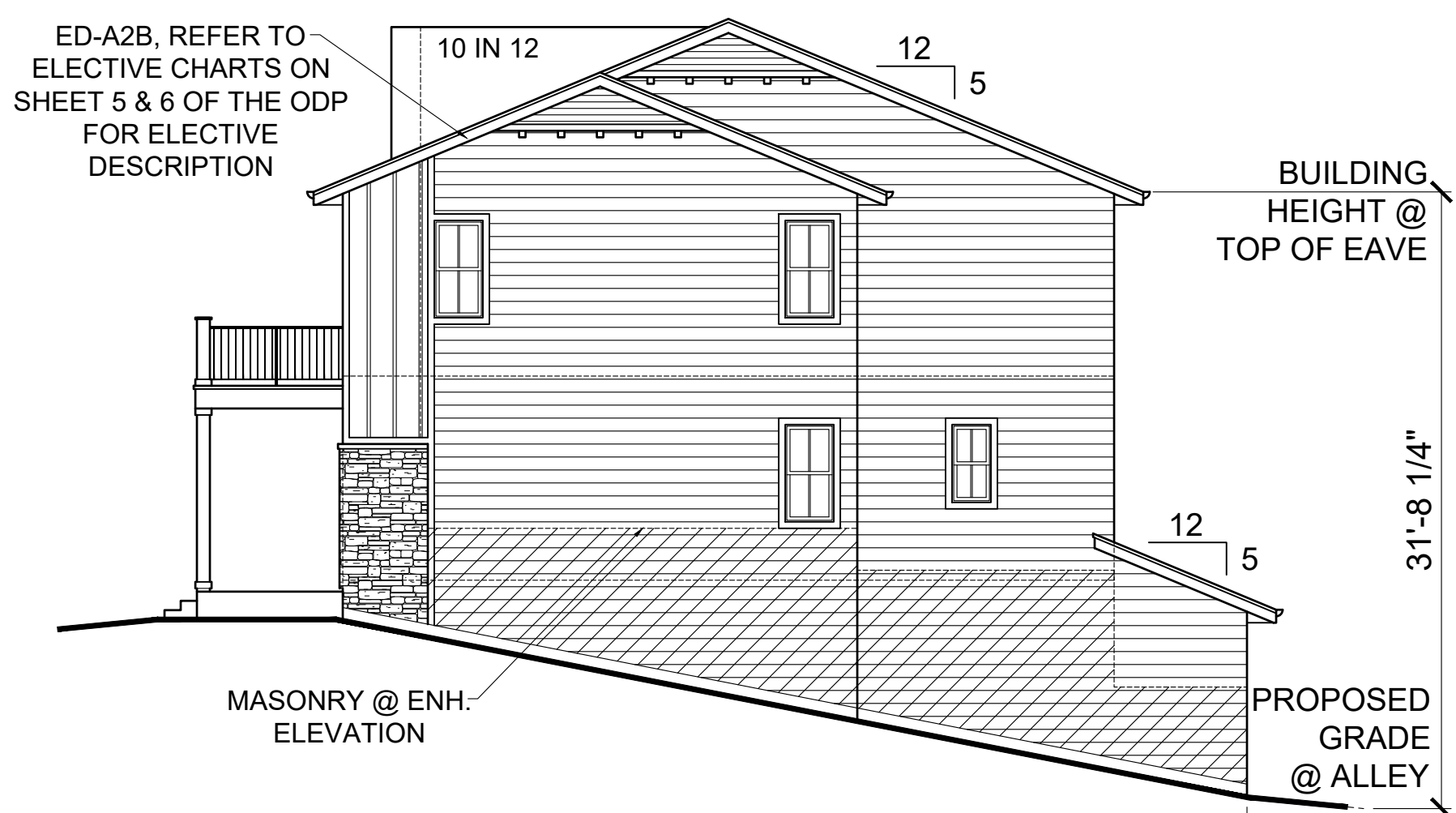
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OFFICIAL DEVELOPMENT PLAN
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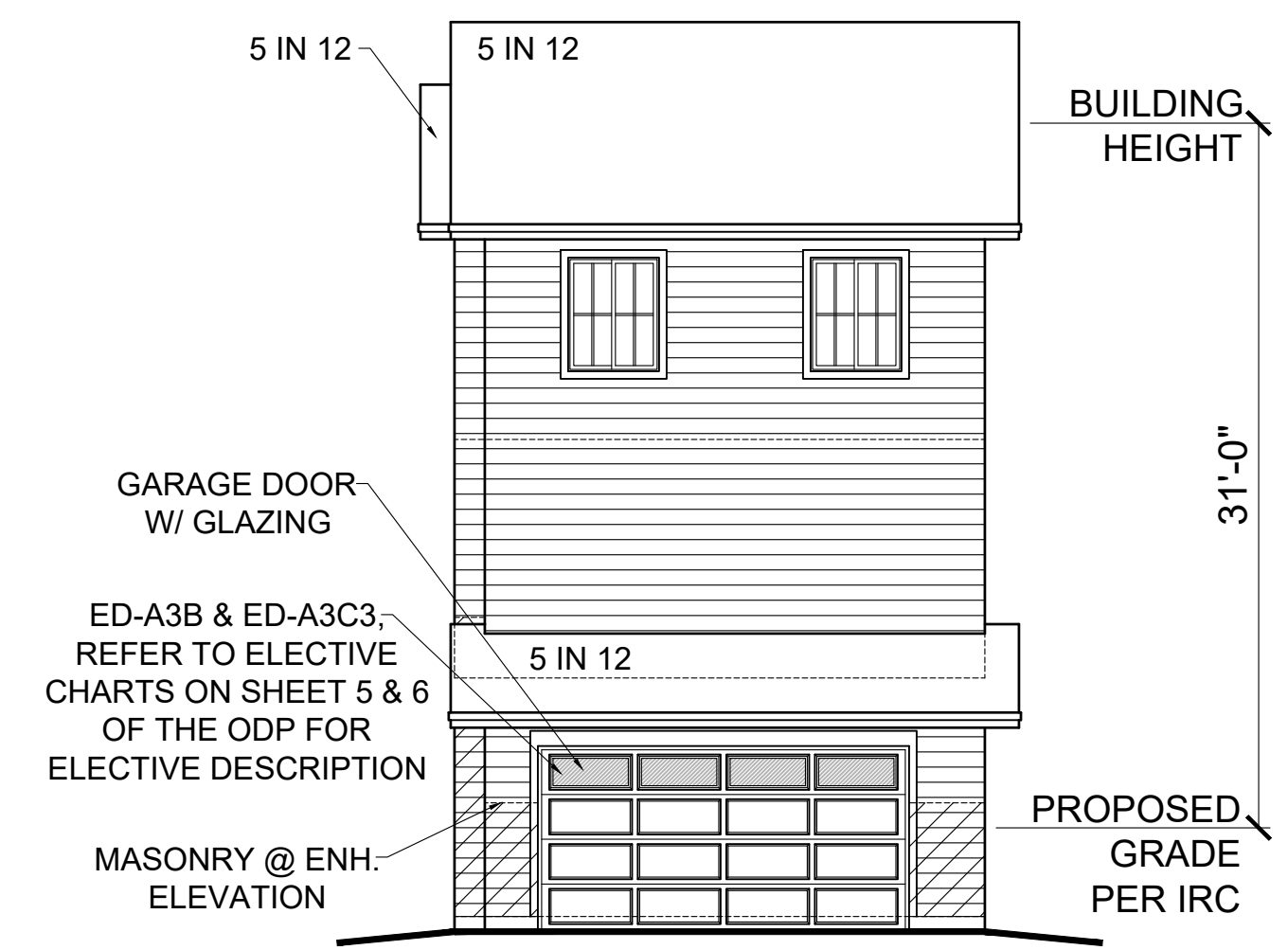
PLAN 1 ELEVATION 'A' - LEFT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



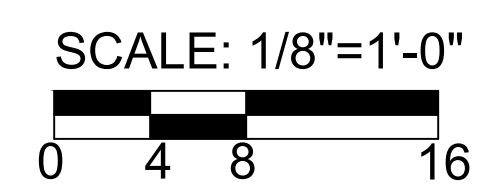
PLAN 1 ELEVATION 'A' - FRONT
31% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'A' - RIGHT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'A' - REAR
SCALE: 1/8" = 1'-0"



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PLAN 1 ELEVATION 'A'

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UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
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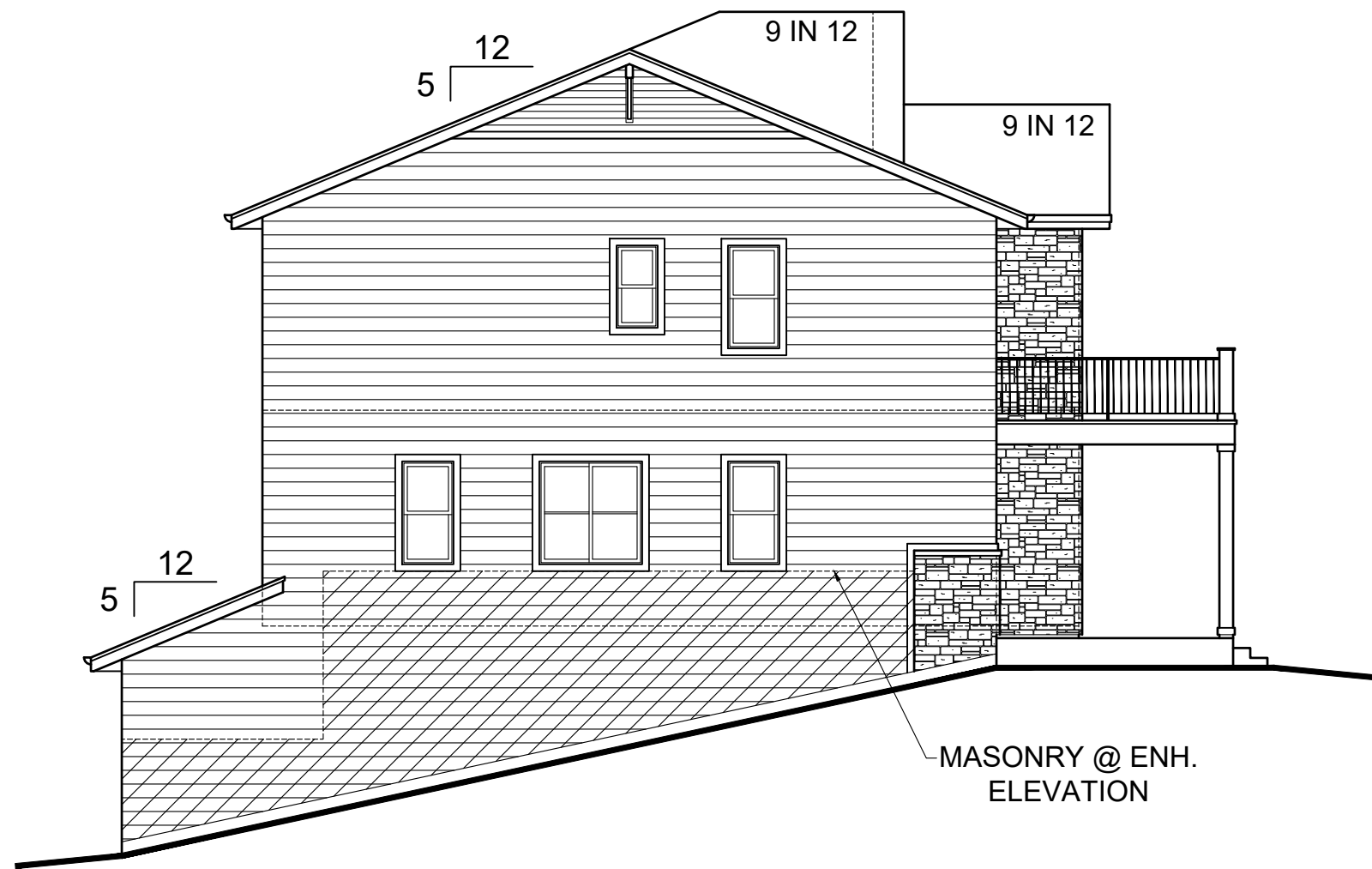
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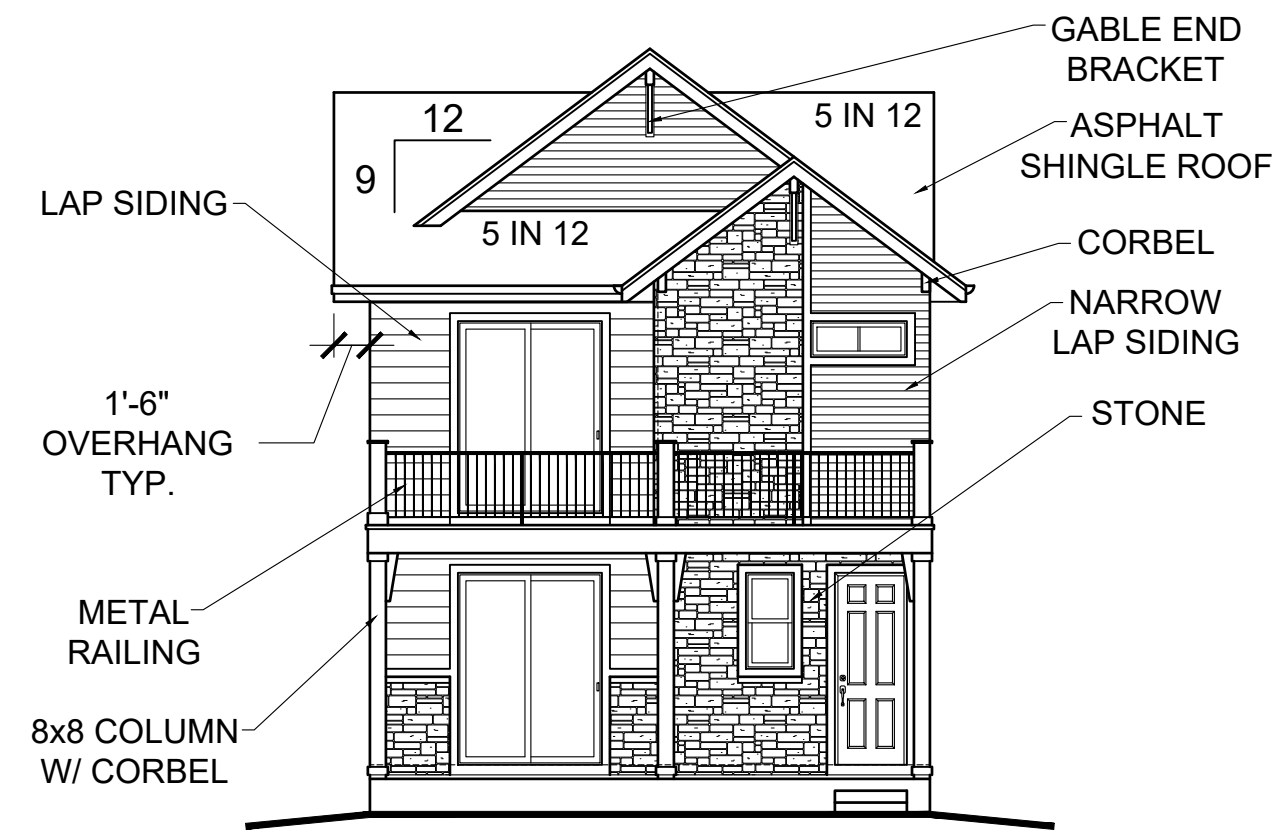
DATE: 06.07.2023

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OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

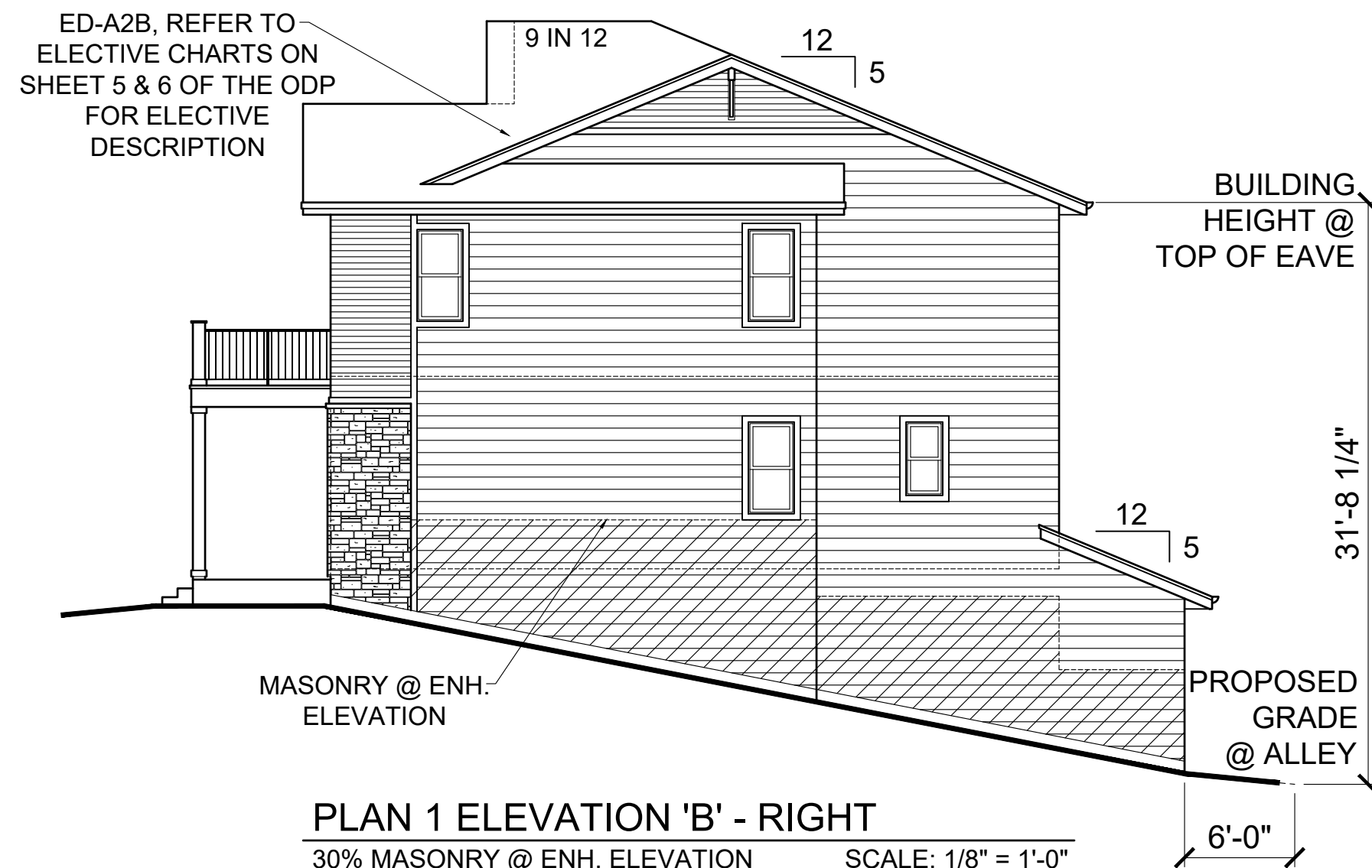
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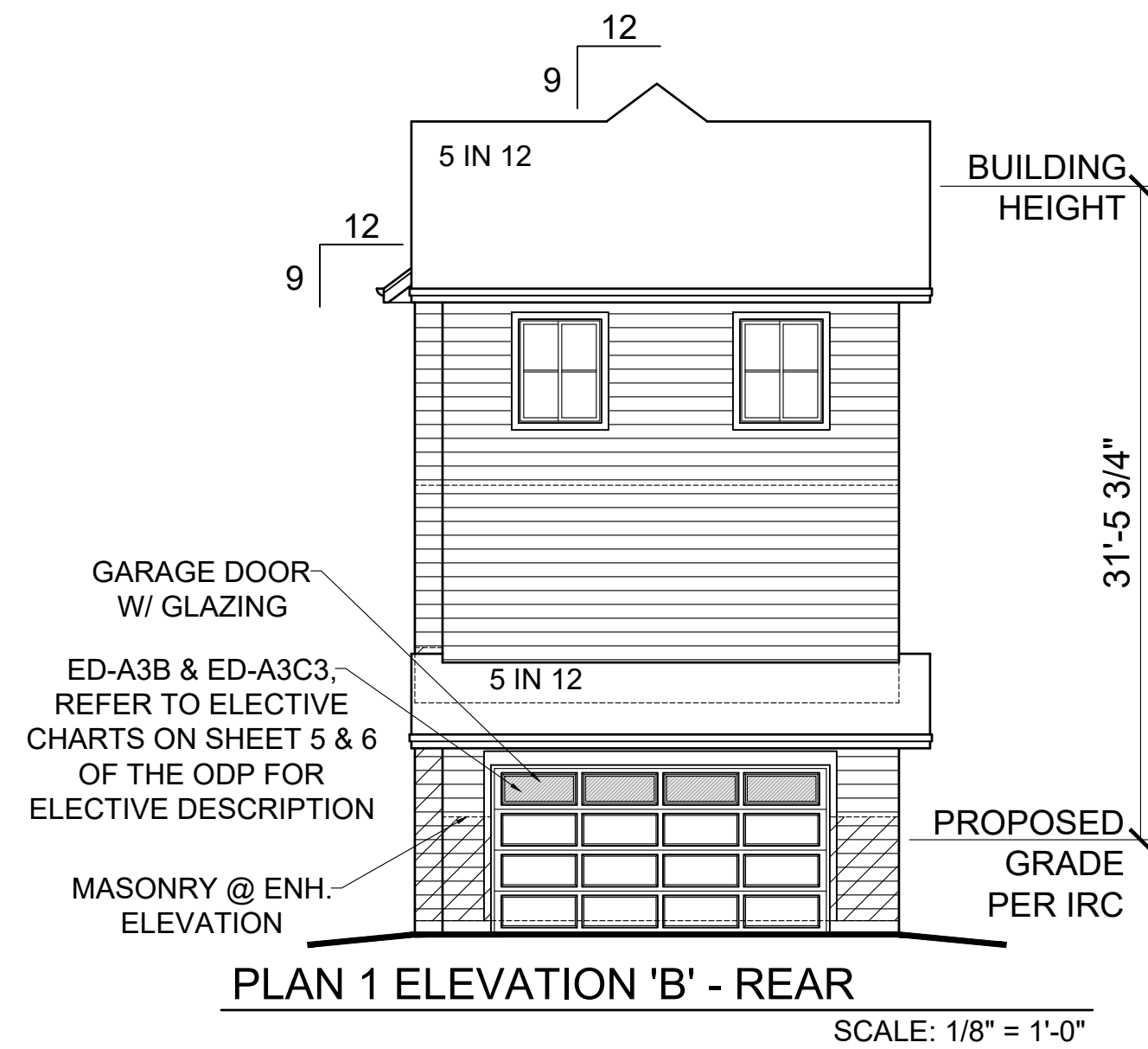
PLAN 1 ELEVATION 'B' - LEFT
34% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



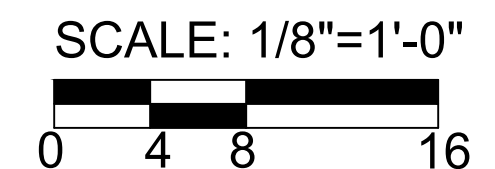
PLAN 1 ELEVATION 'B' - FRONT
43% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'B' - RIGHT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'B' - REAR
SCALE: 1/8" = 1'-0"



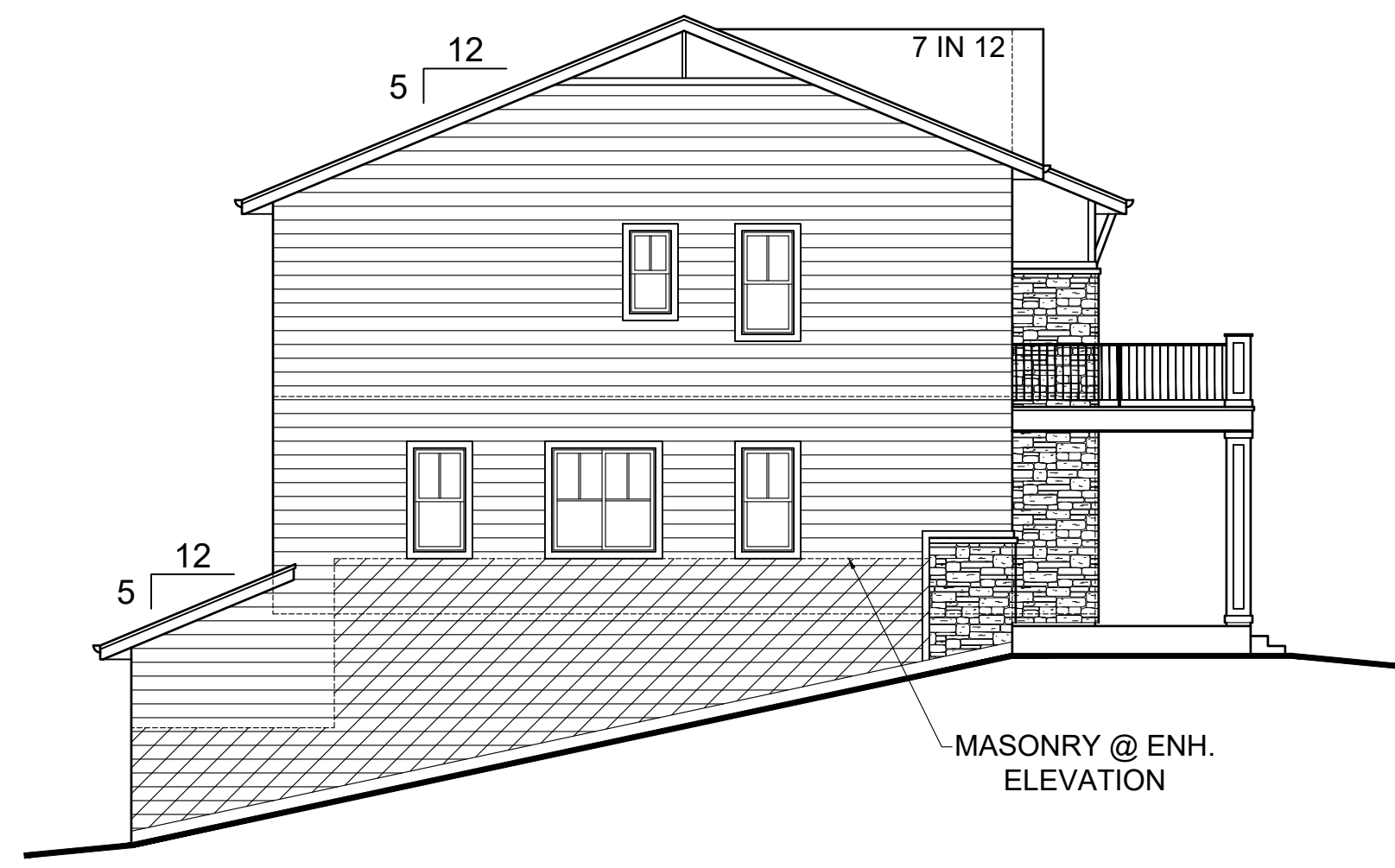
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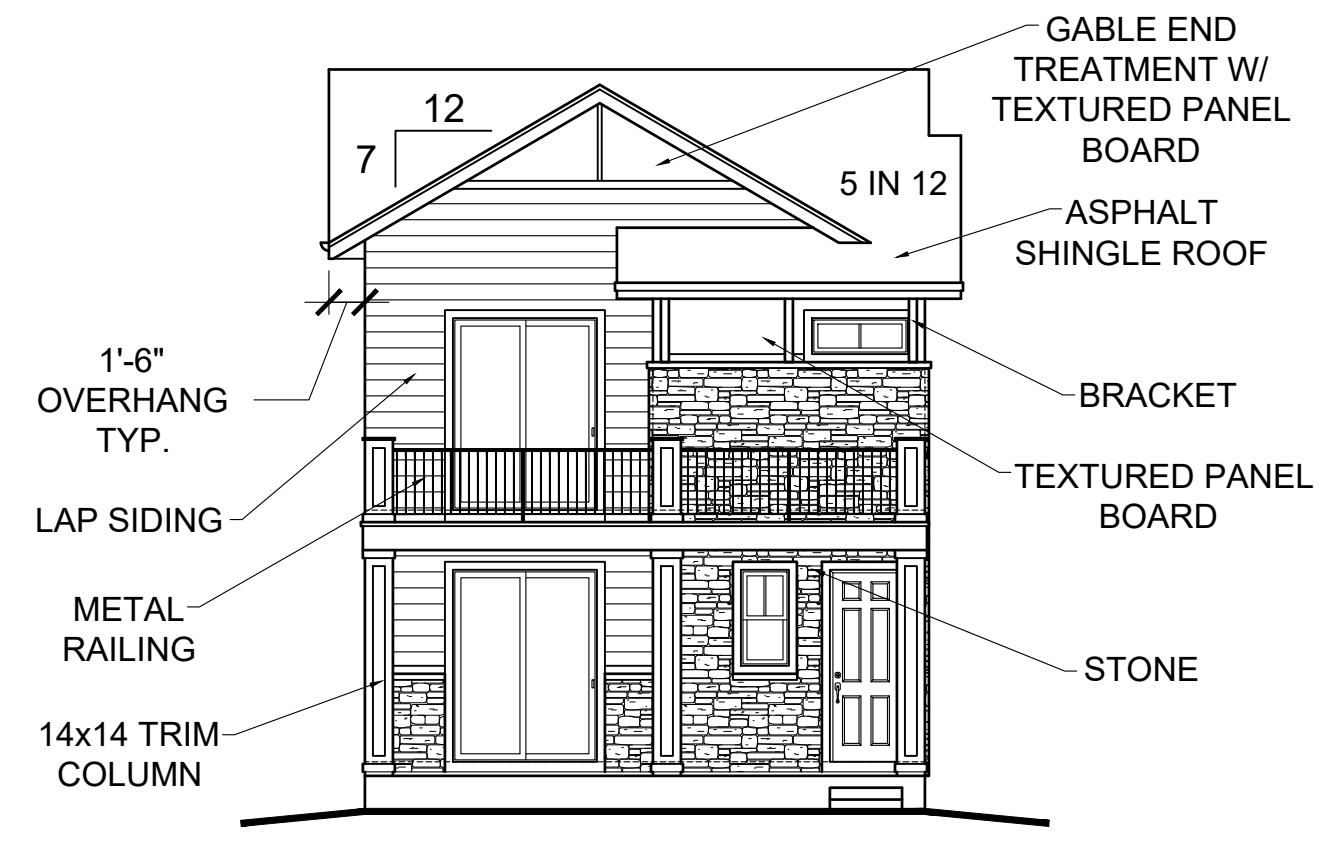
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DATE: 06.07.2023

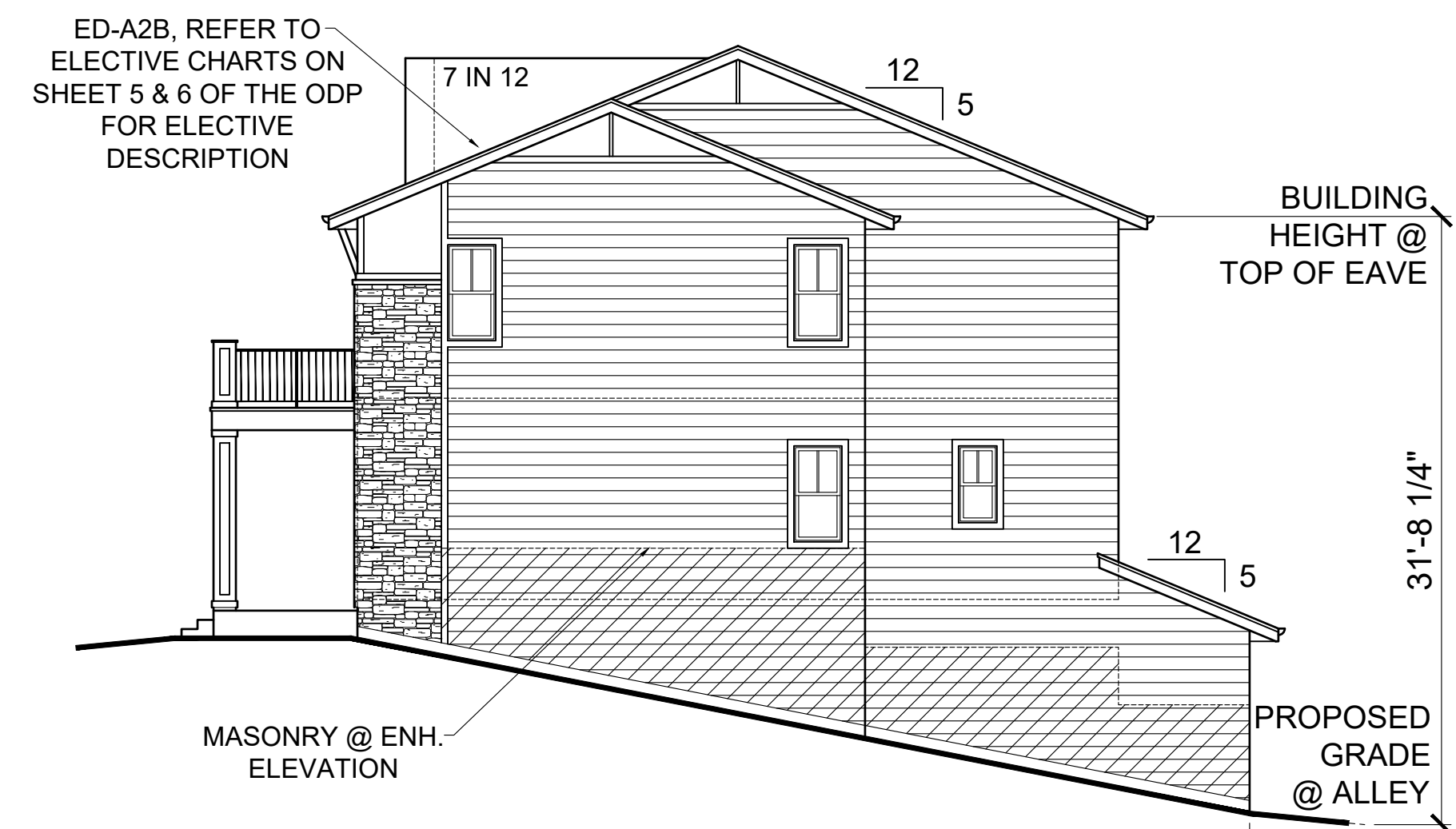
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
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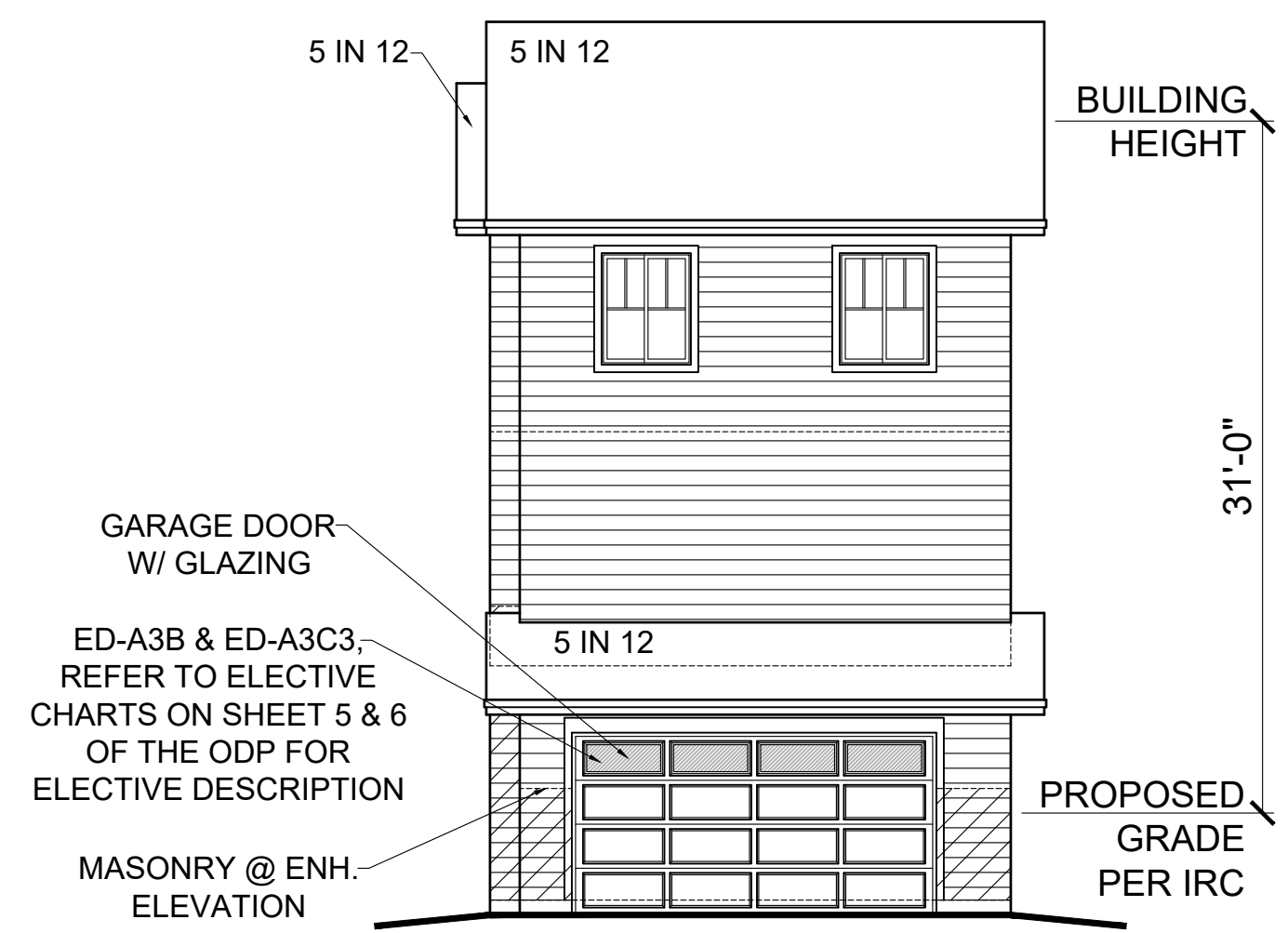
PLAN 1 ELEVATION 'C' - LEFT
32% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



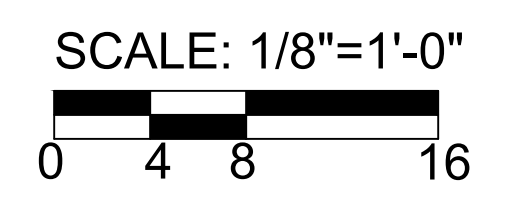
PLAN 1 ELEVATION 'C' - FRONT
45% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - RIGHT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - REAR
SCALE: 1/8" = 1'-0"



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PLAN 1 ELEVATION 'C'

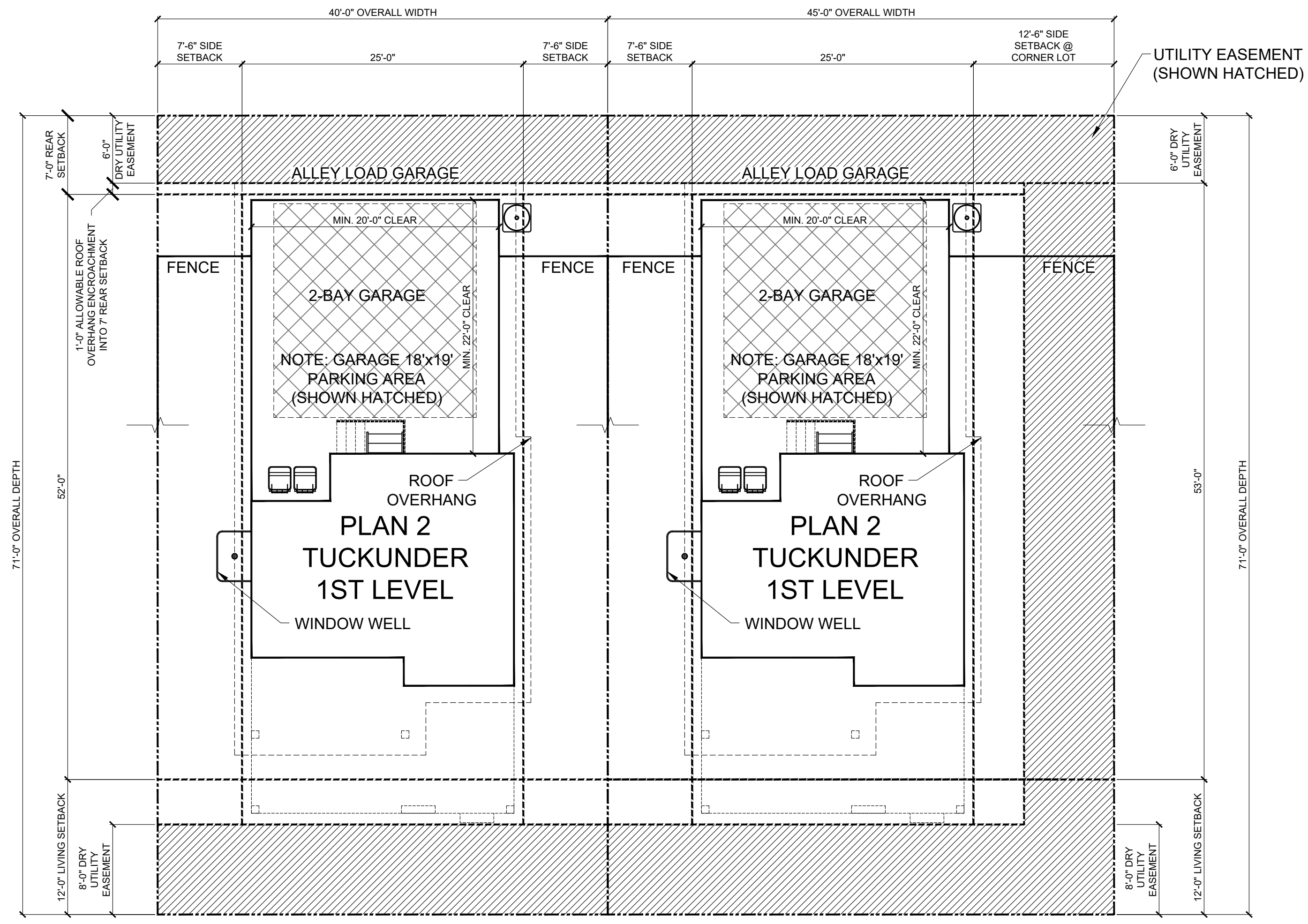
OFFICIAL DEVELOPMENT PLAN
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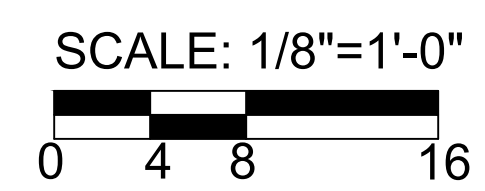
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 2 - 1ST LEVEL

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"

- NOTE:
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 - 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT
 - 4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY



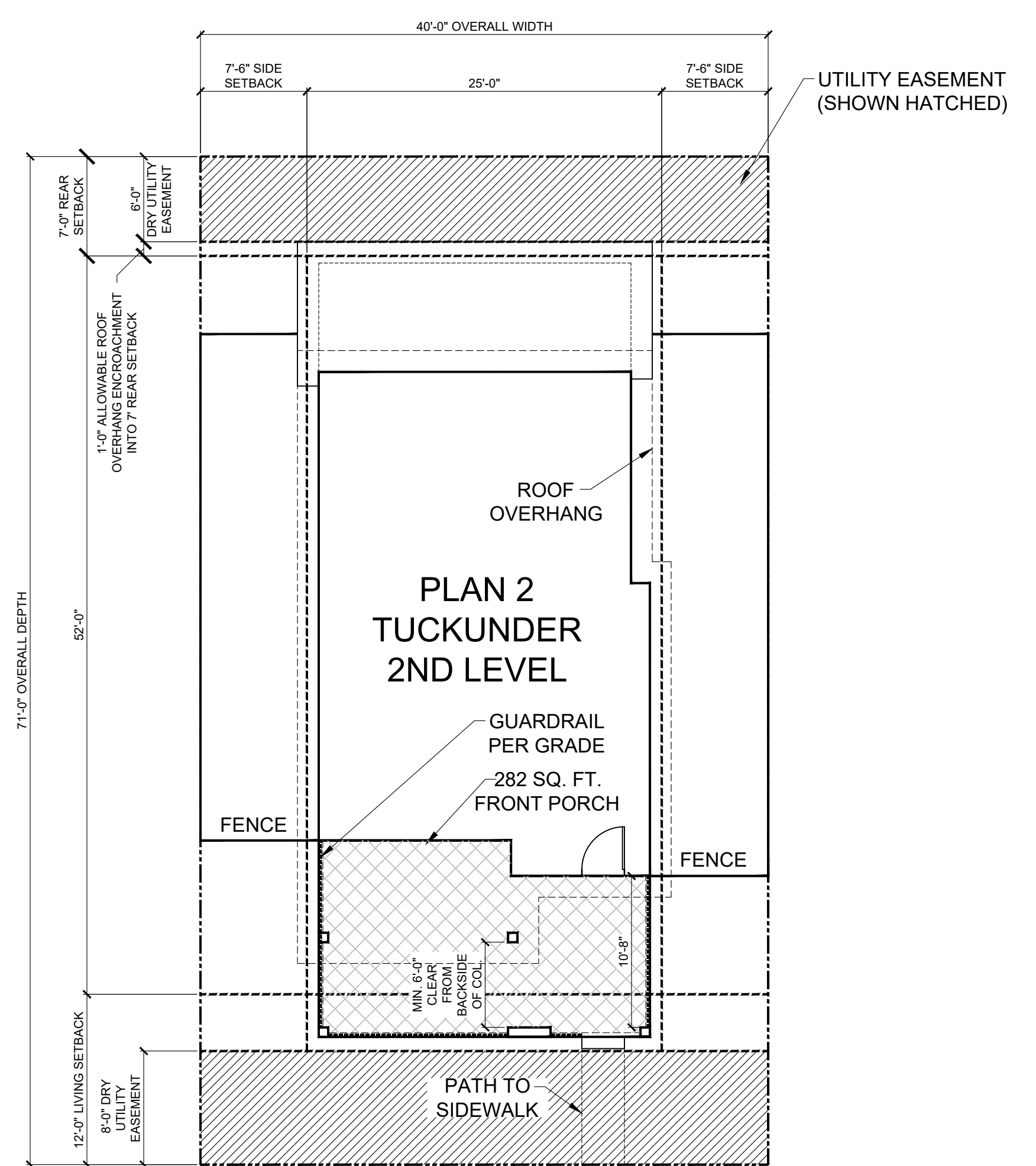
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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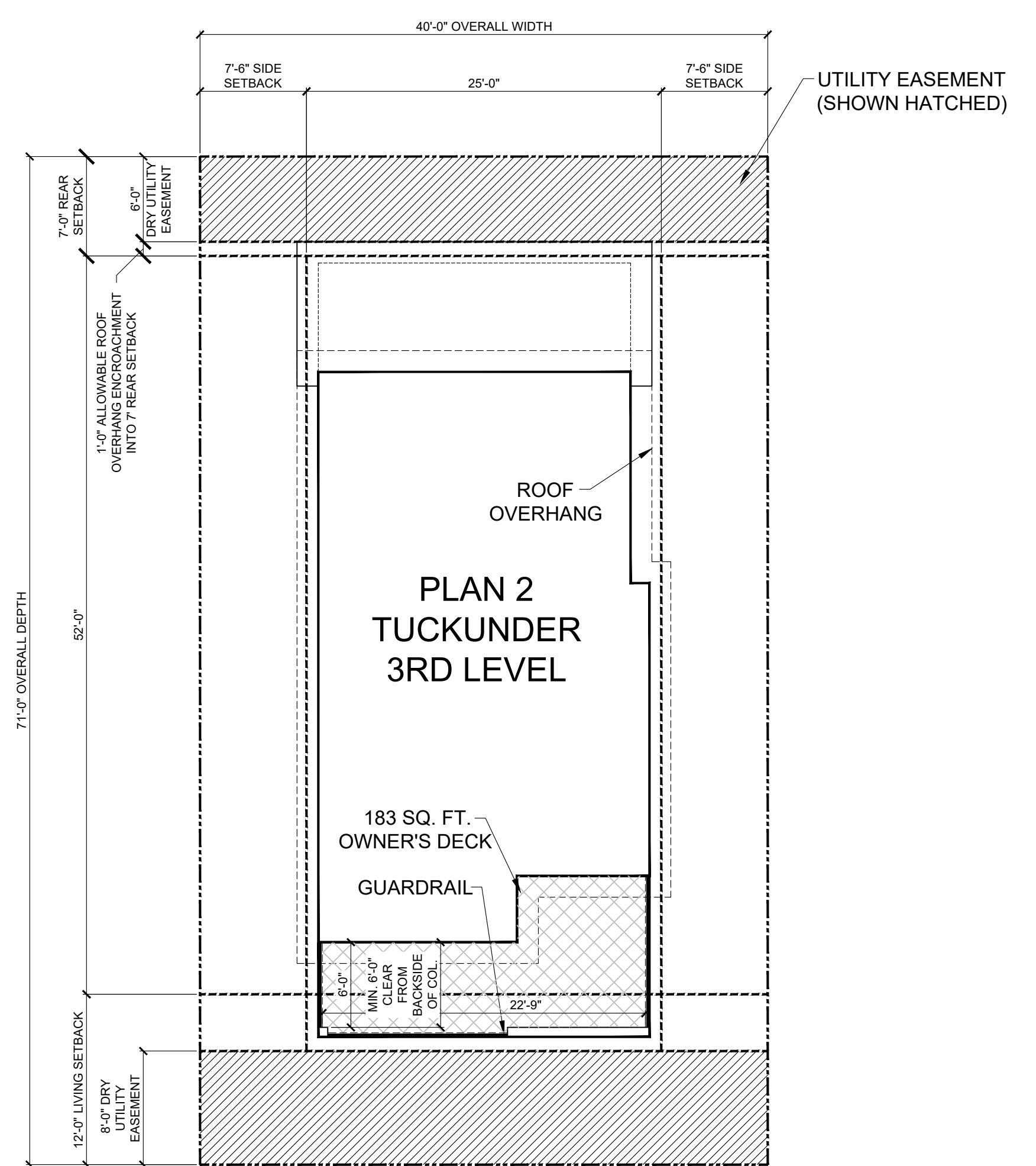
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 DATE: 06.07.2023

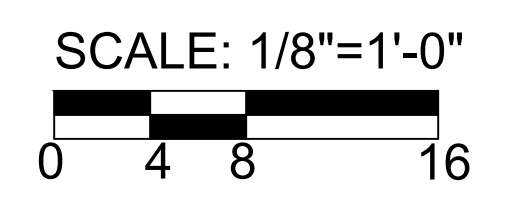
UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 2 - 2ND LEVEL
 1,956 TOTAL SQ. FT. SCALE: 1/8" = 1'-0"
 OUTDOOR LIVING: 465 TOTAL SQ. FT.
 FRONT PORCH: 282 SQ. FT.
 OWNER'S DECK: 183 SQ. FT.



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 2 - 3RD LEVEL
 SCALE: 1/8" = 1'-0"



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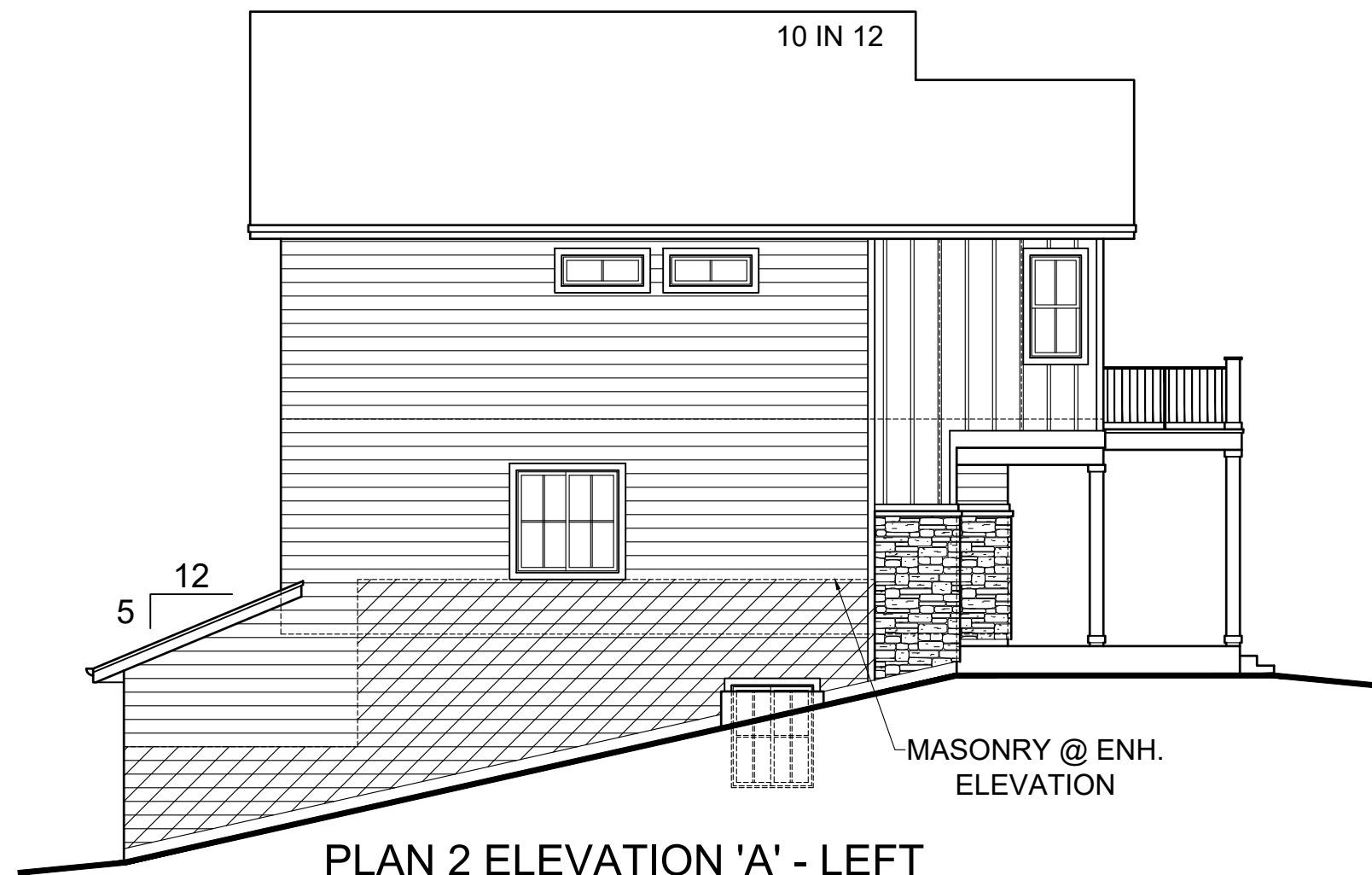
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UPLANDS - FILING NO. 2 - BLOCK 1
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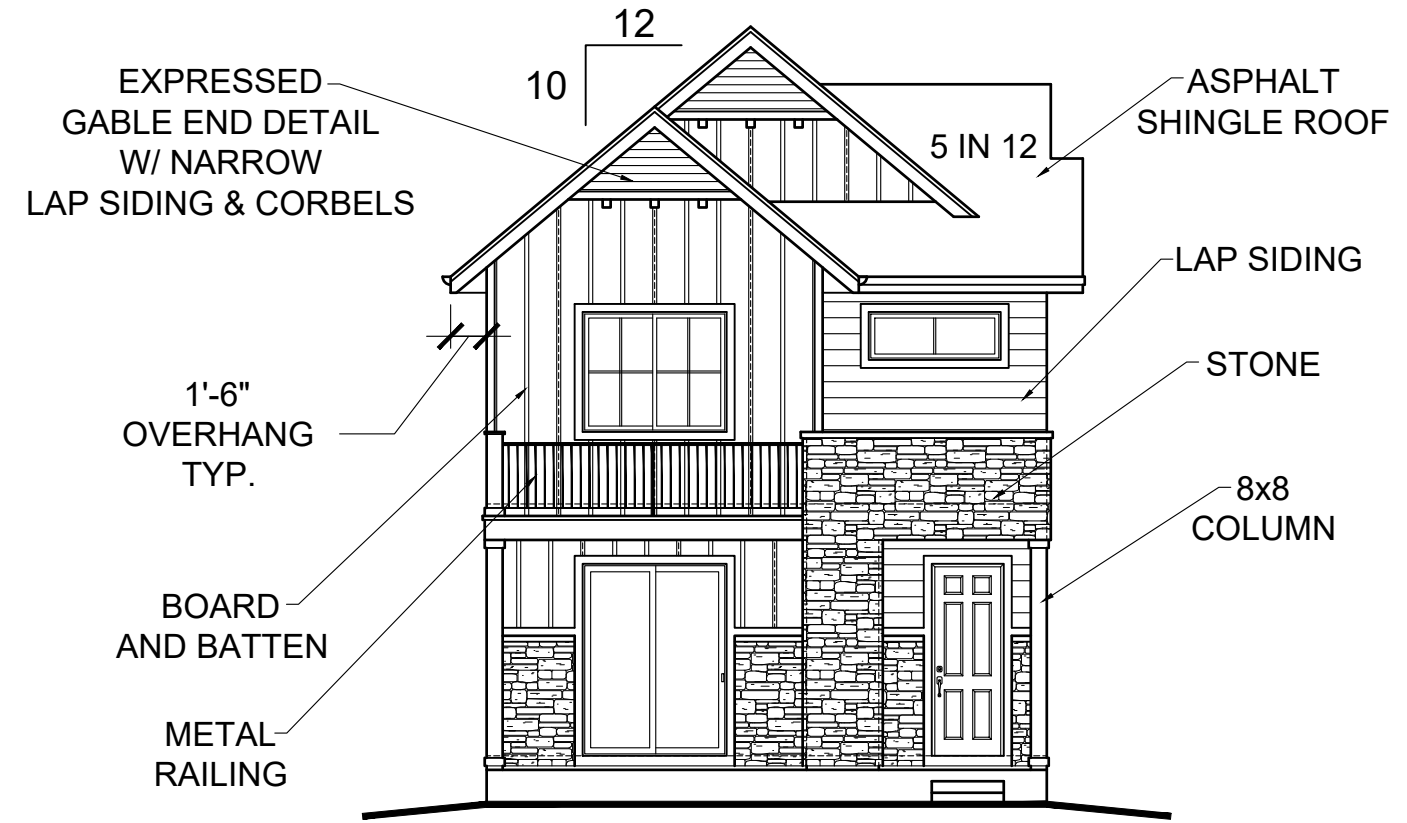
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DATE: 06.07.2023

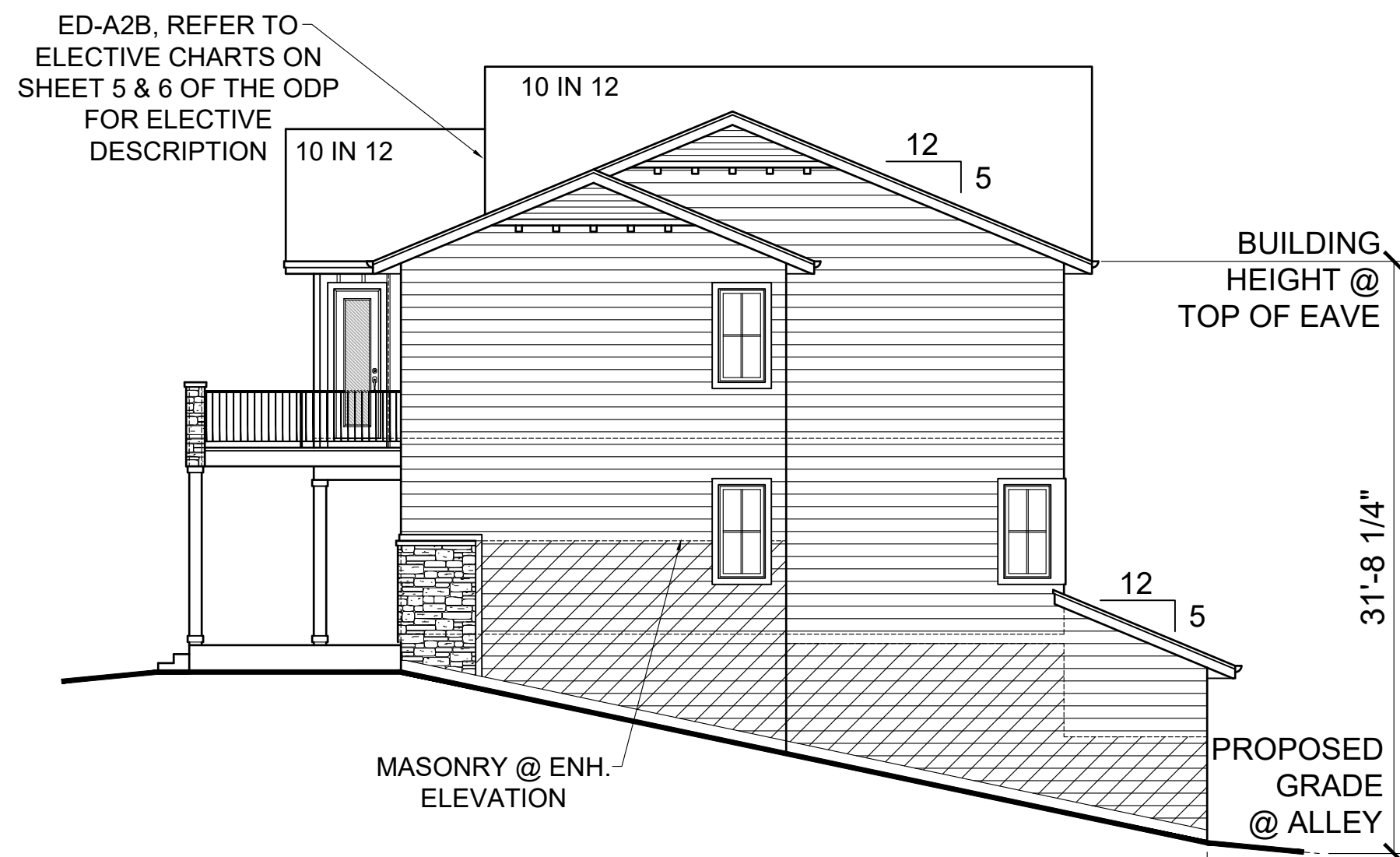
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WESTMINSTER, COLORADO



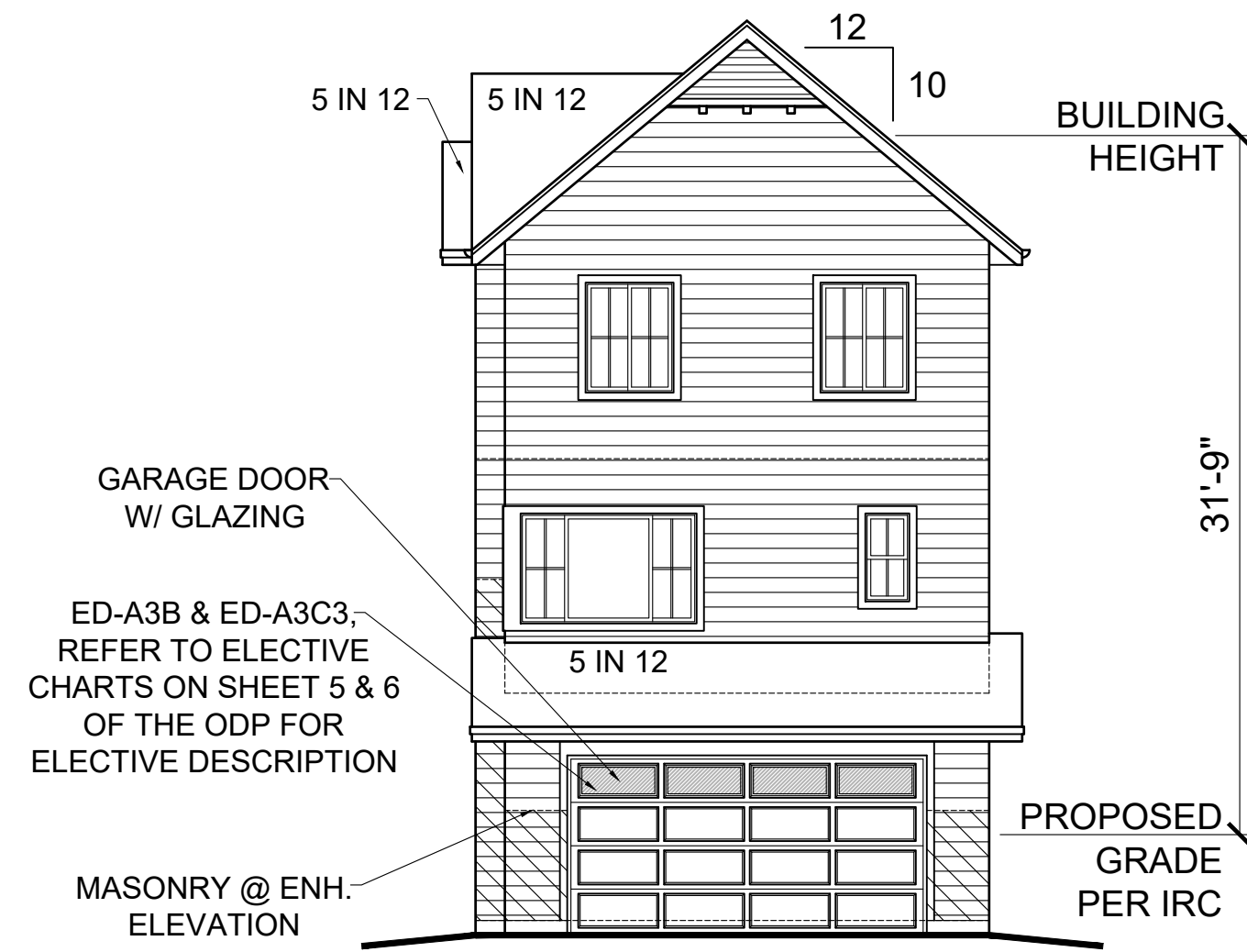
PLAN 2 ELEVATION 'A' - LEFT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



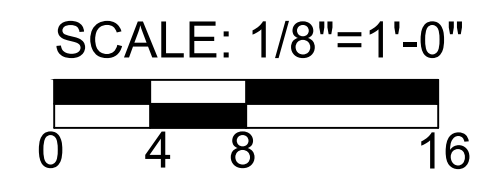
PLAN 2 ELEVATION 'A' - FRONT
30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'A' - RIGHT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'A' - REAR
SCALE: 1/8" = 1'-0"



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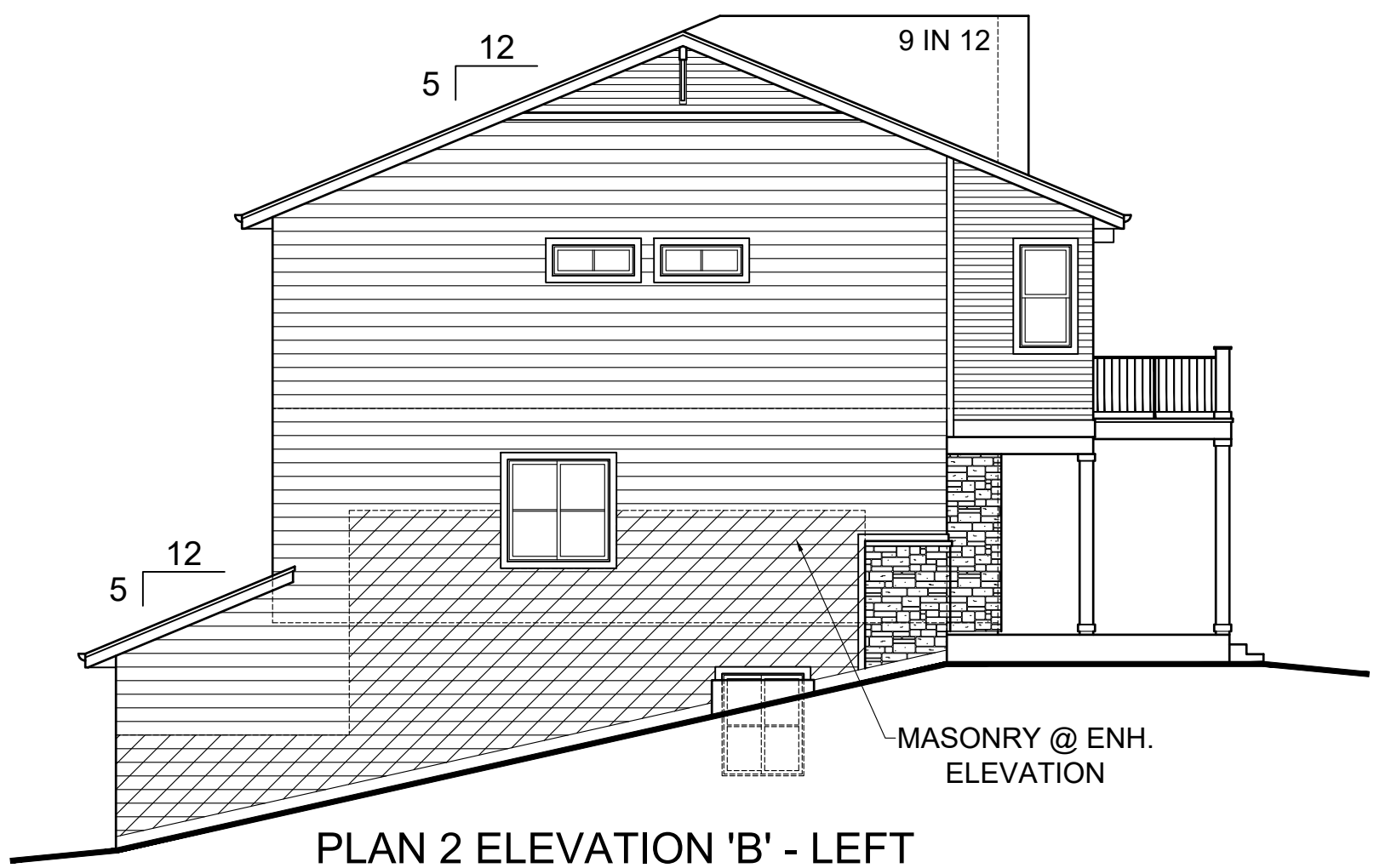
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 A PLANNED UNIT DEVELOPMENT
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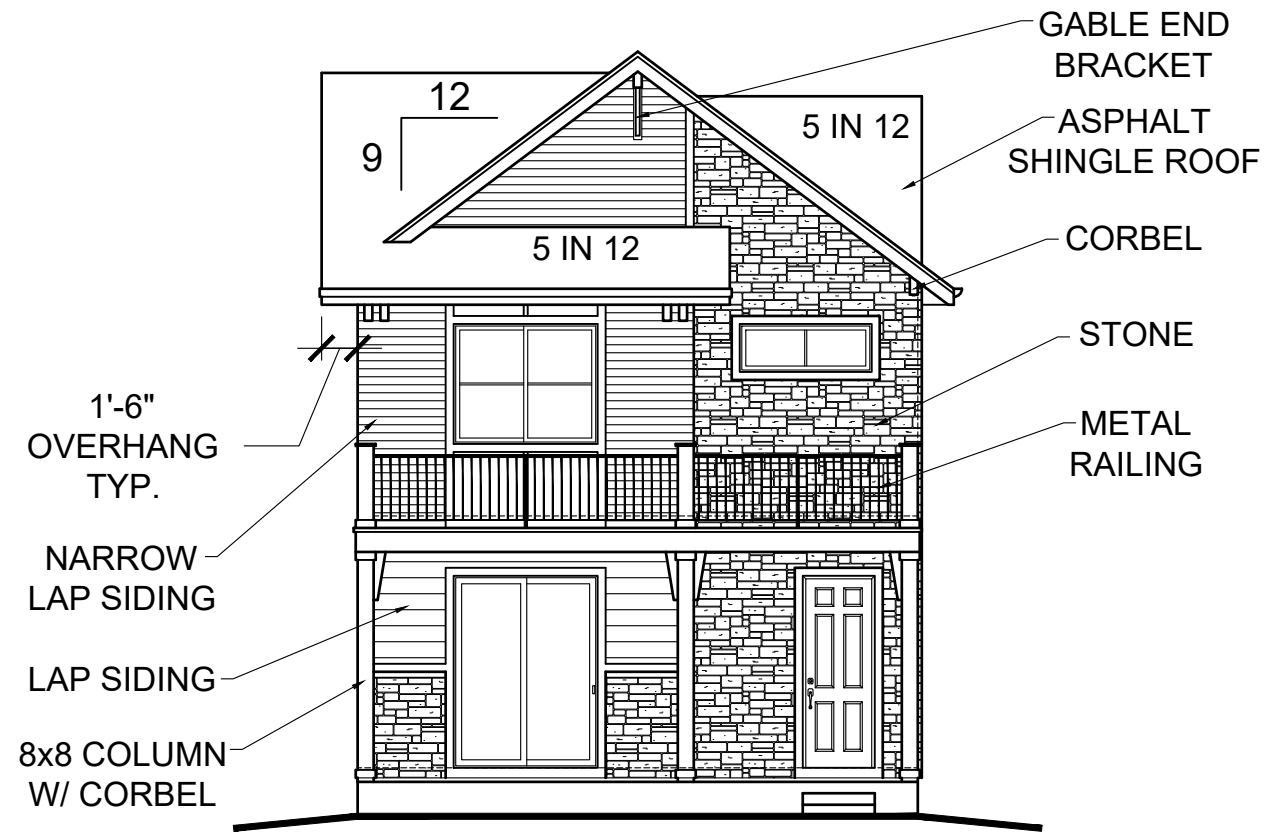
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DATE: 06.07.2023

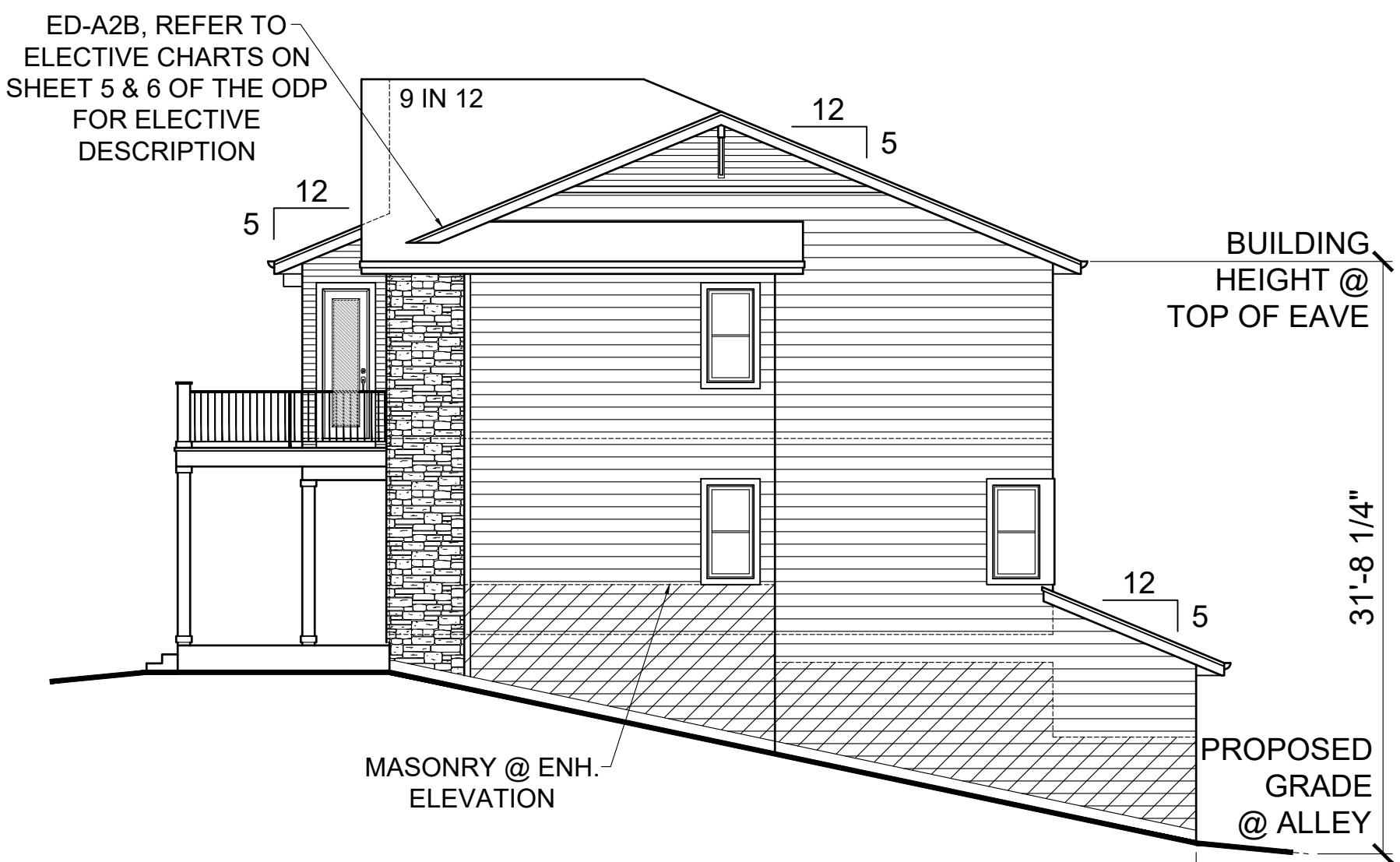
UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



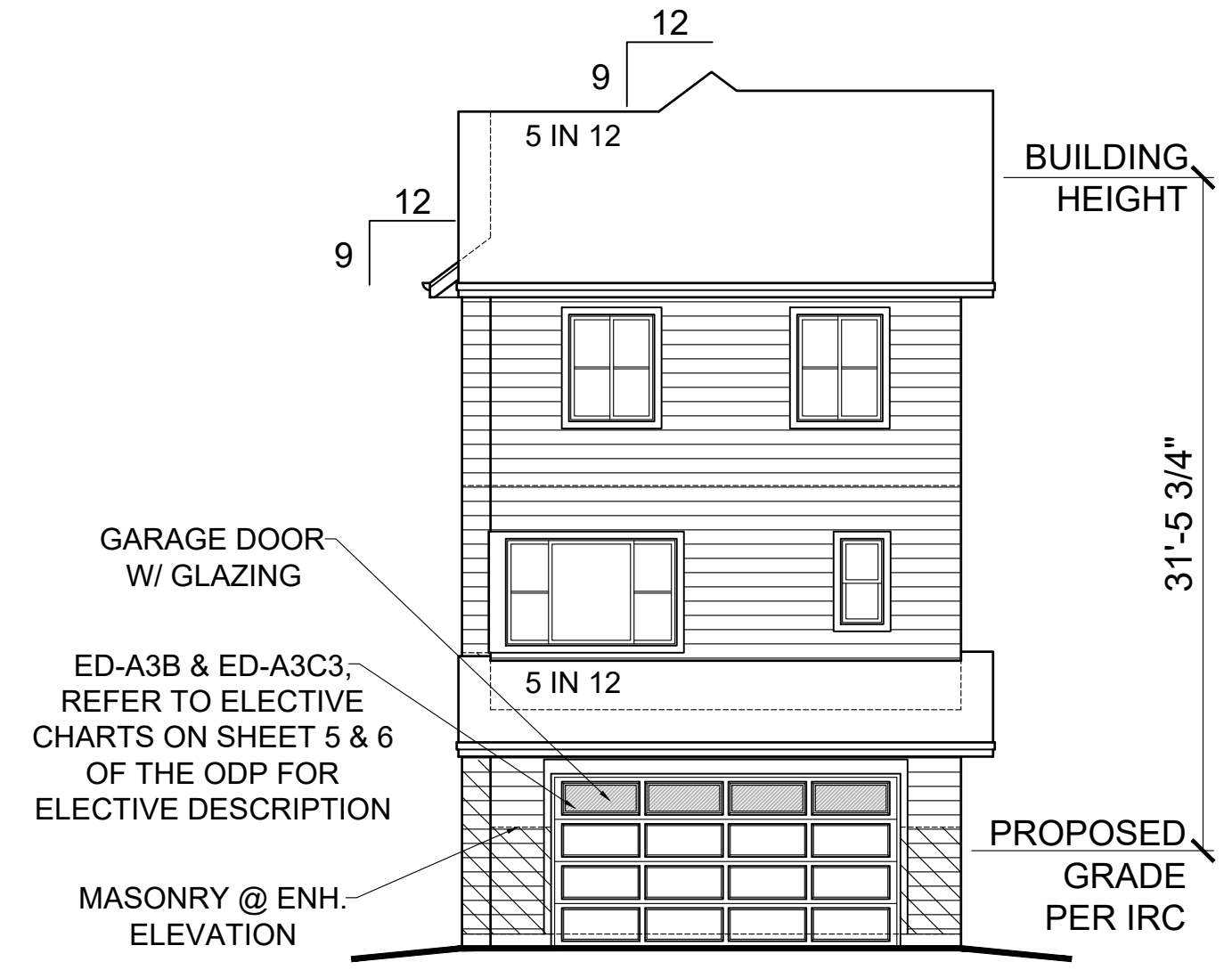
PLAN 2 ELEVATION 'B' - LEFT
 30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



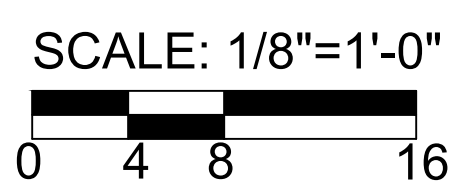
PLAN 2 ELEVATION 'B' - FRONT
 50% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'B' - RIGHT
 31% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'B' - REAR
 SCALE: 1/8" = 1'-0"



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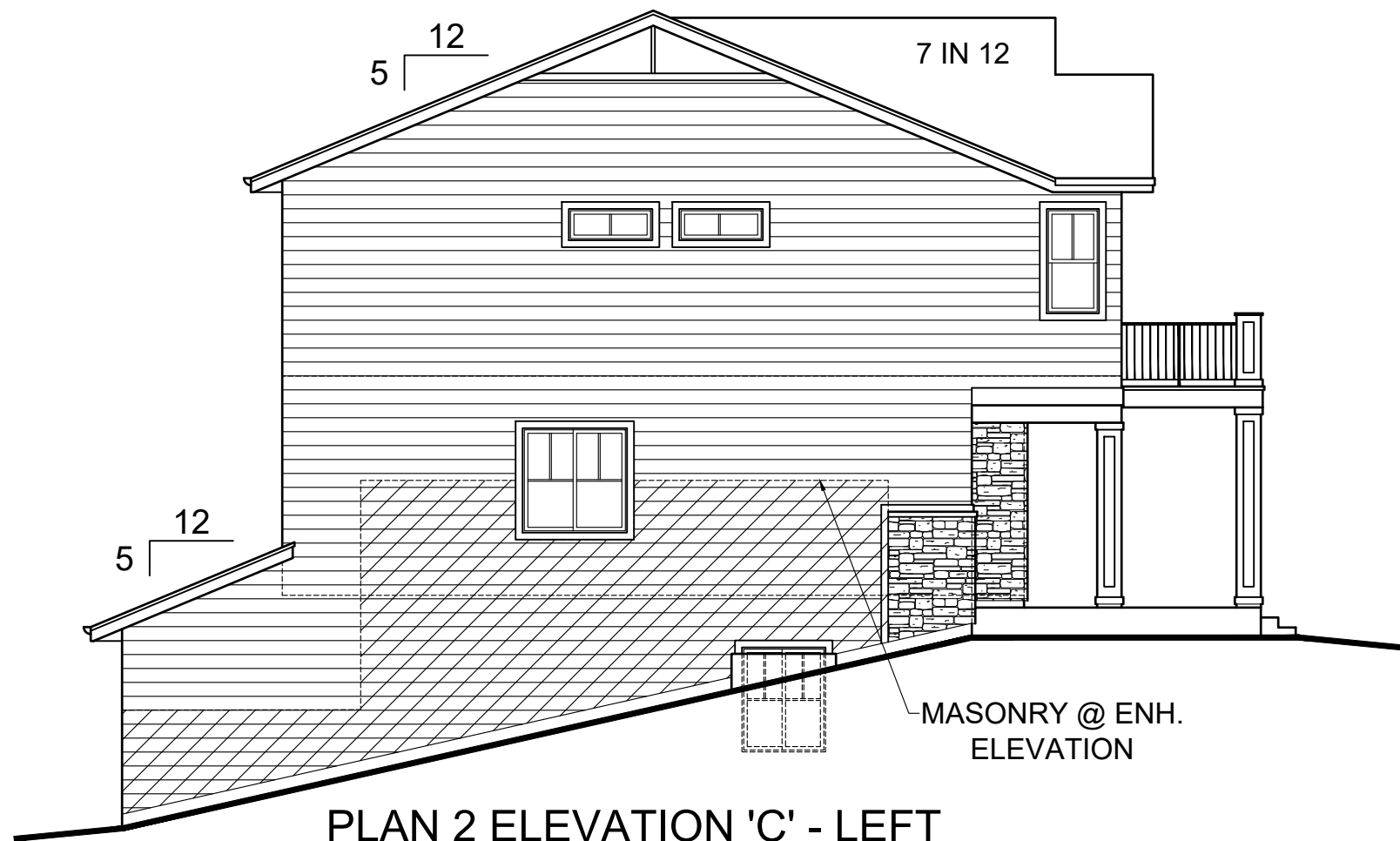
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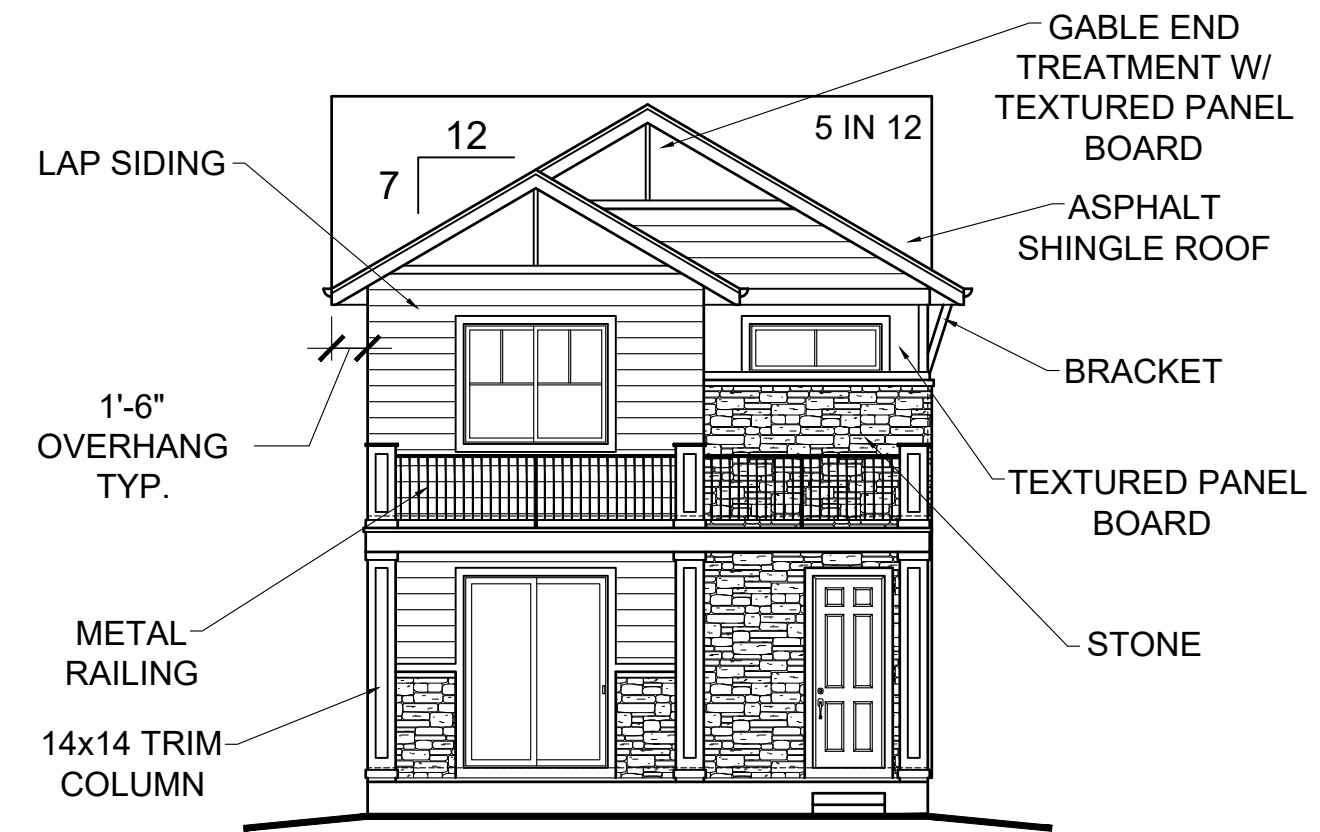
UPLANDS

DATE: 06.07.2023

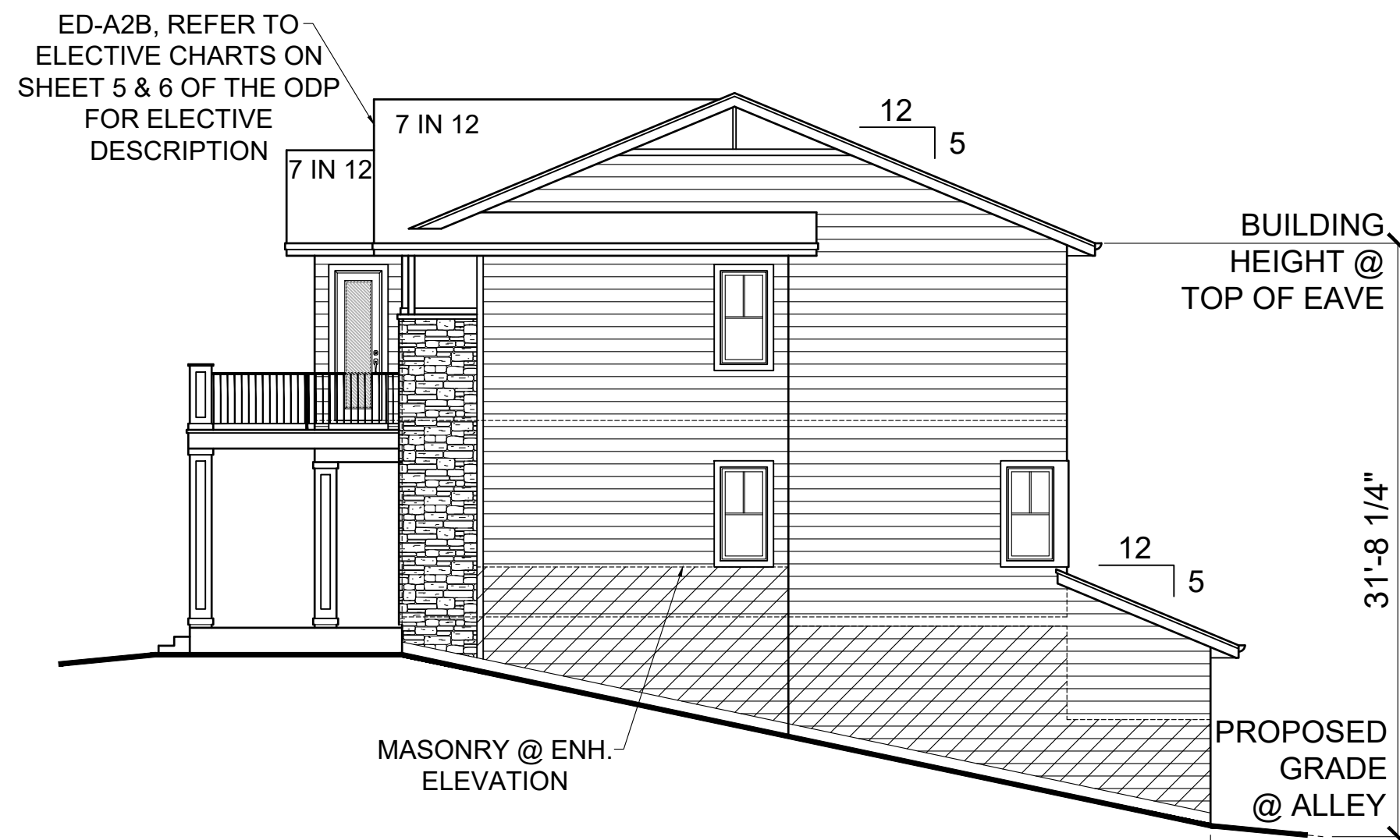
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OFFICIAL DEVELOPMENT PLAN
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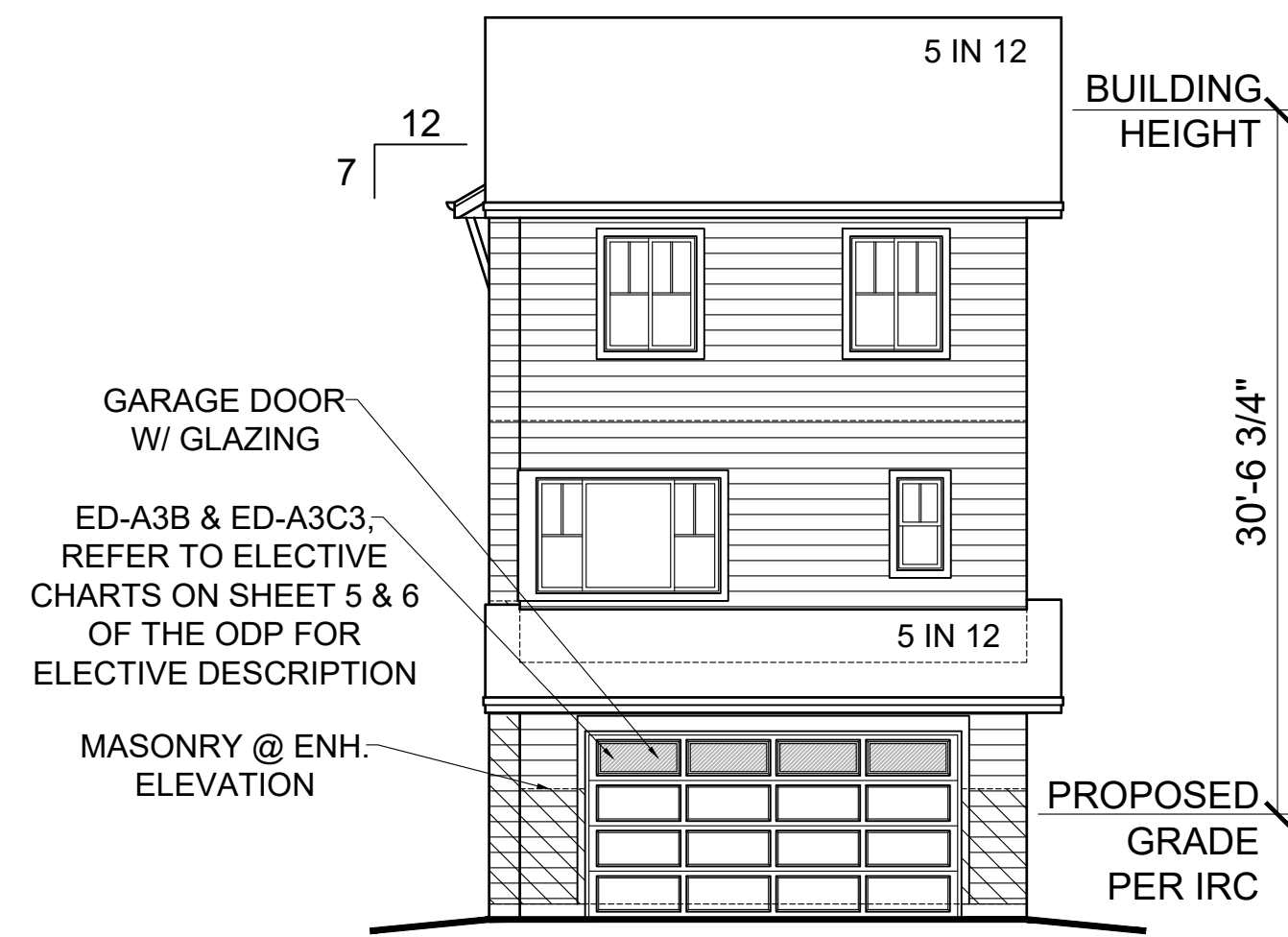
PLAN 2 ELEVATION 'C' - LEFT
 31% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'C' - FRONT
 37% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"

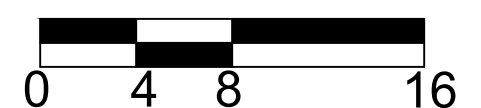


PLAN 2 ELEVATION 'C' - RIGHT
 31% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'C' - REAR
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
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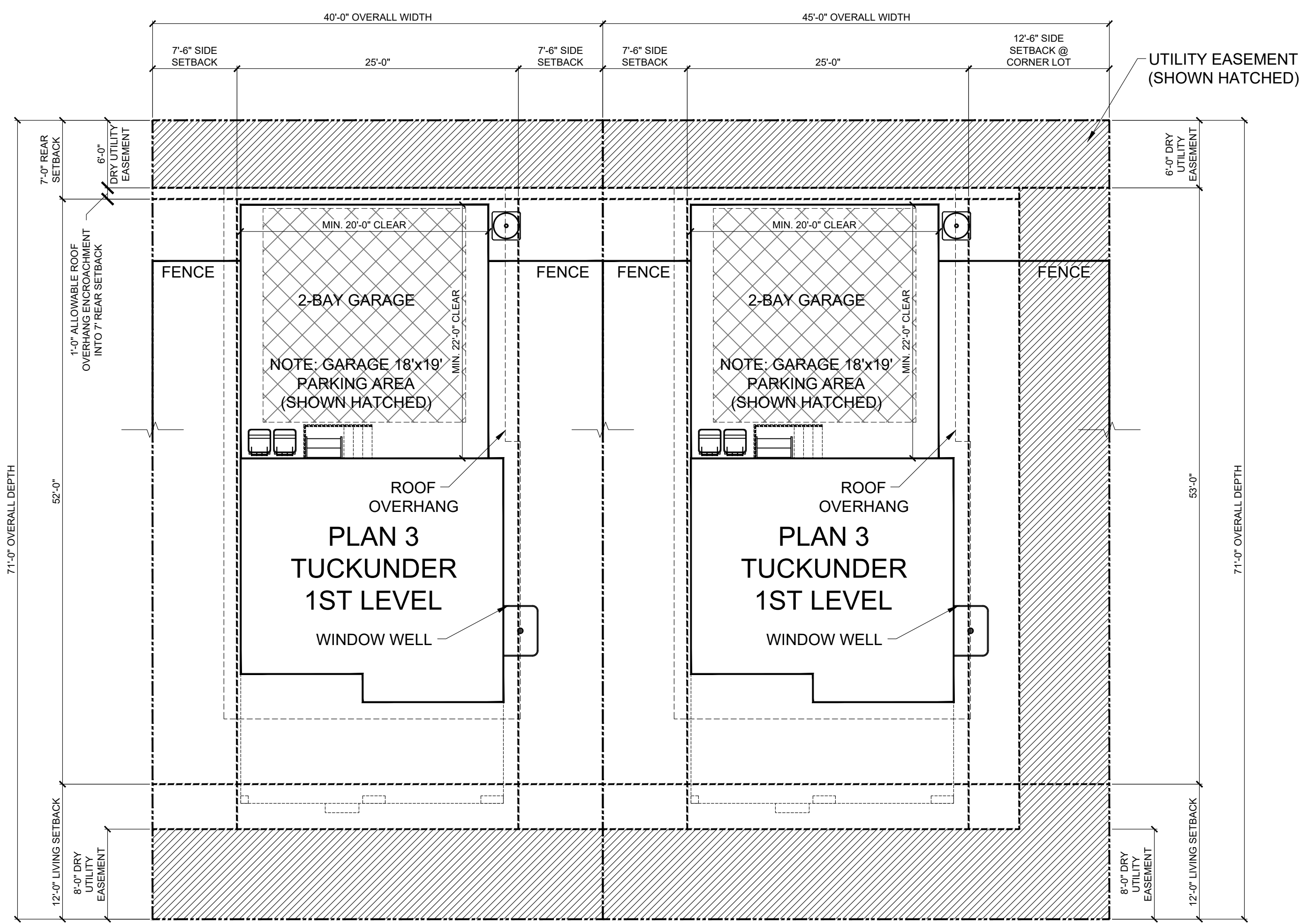
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 A PLANNED UNIT DEVELOPMENT
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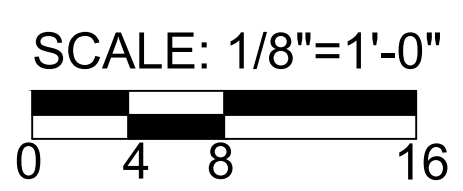
UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 3 - 1ST LEVEL

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"

- NOTE:
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 - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY



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UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 75 OF 87

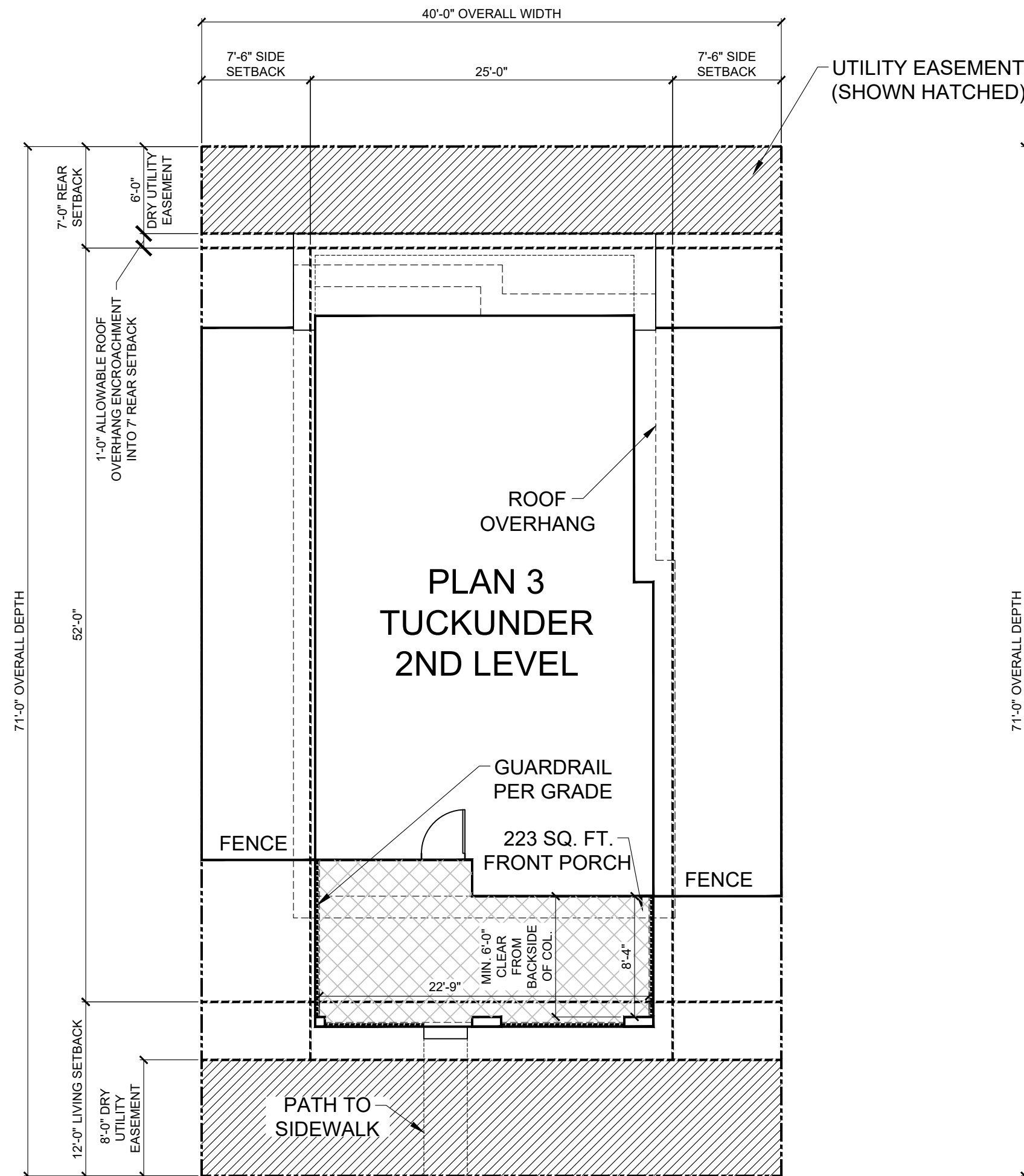
G
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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

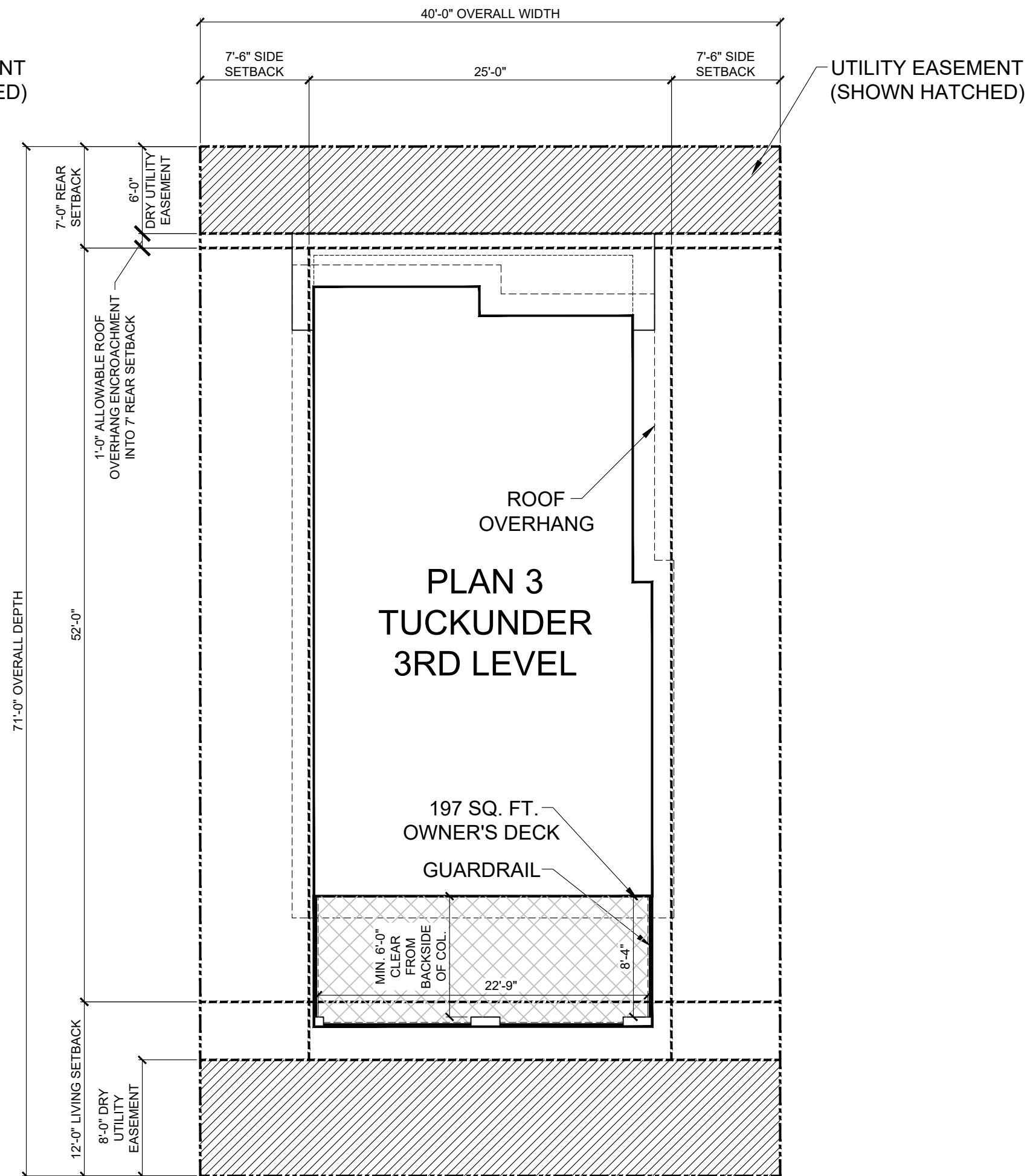


**SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 3 - 2ND LEVEL**

2,173 TOTAL SQ. FT.

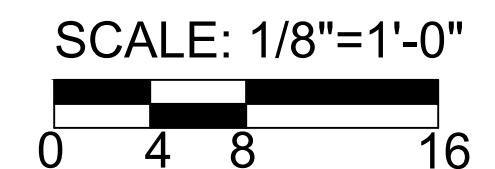
SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 420 TOTAL SQ. FT.
FRONT PORCH: 223 SQ. FT.
OWNER'S DECK: 197 SQ. FT.



**SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 3 - 3RD LEVEL**

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
PREPARED: 01.26.2023

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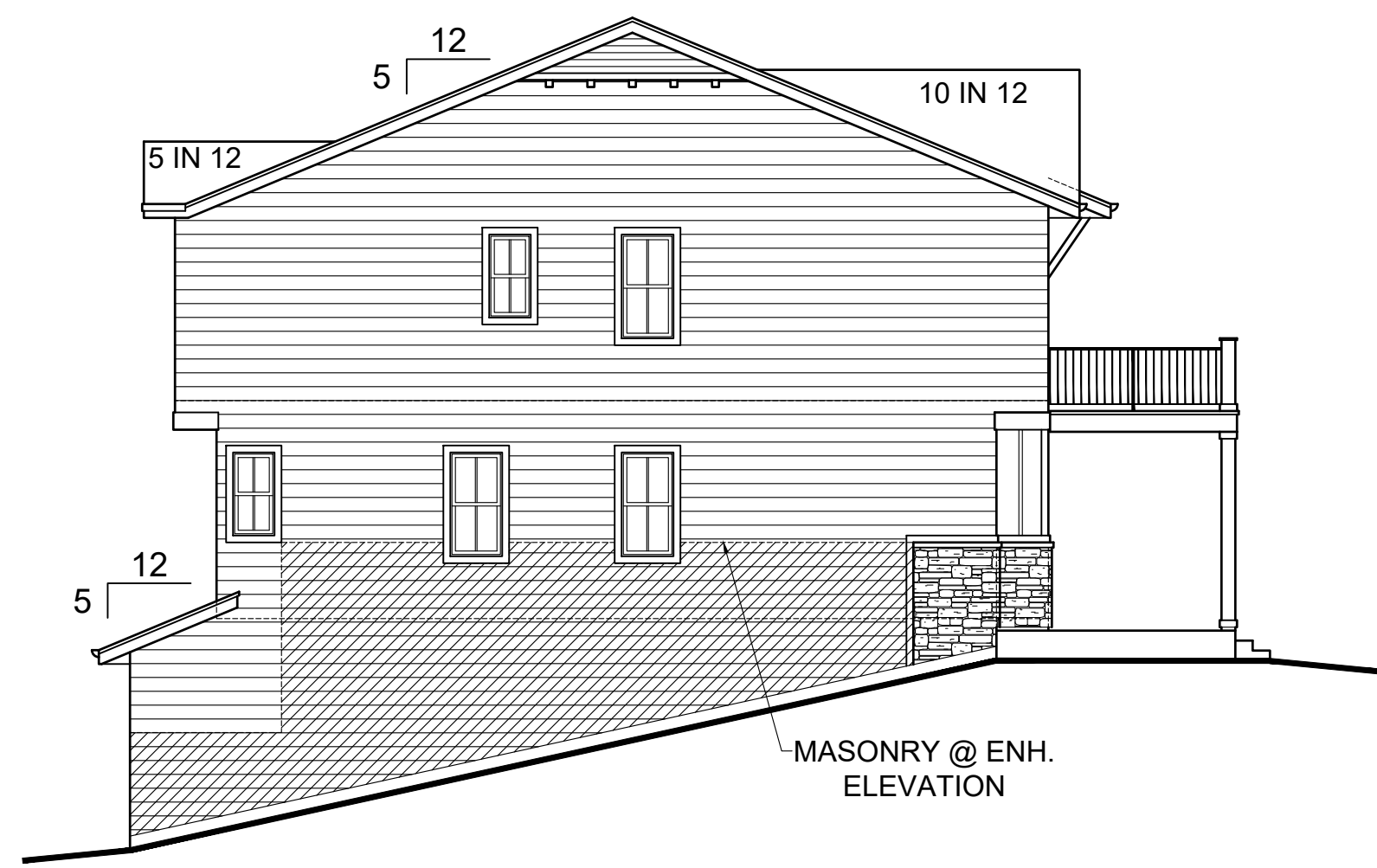
PLAN 3 LOT TYPICALS

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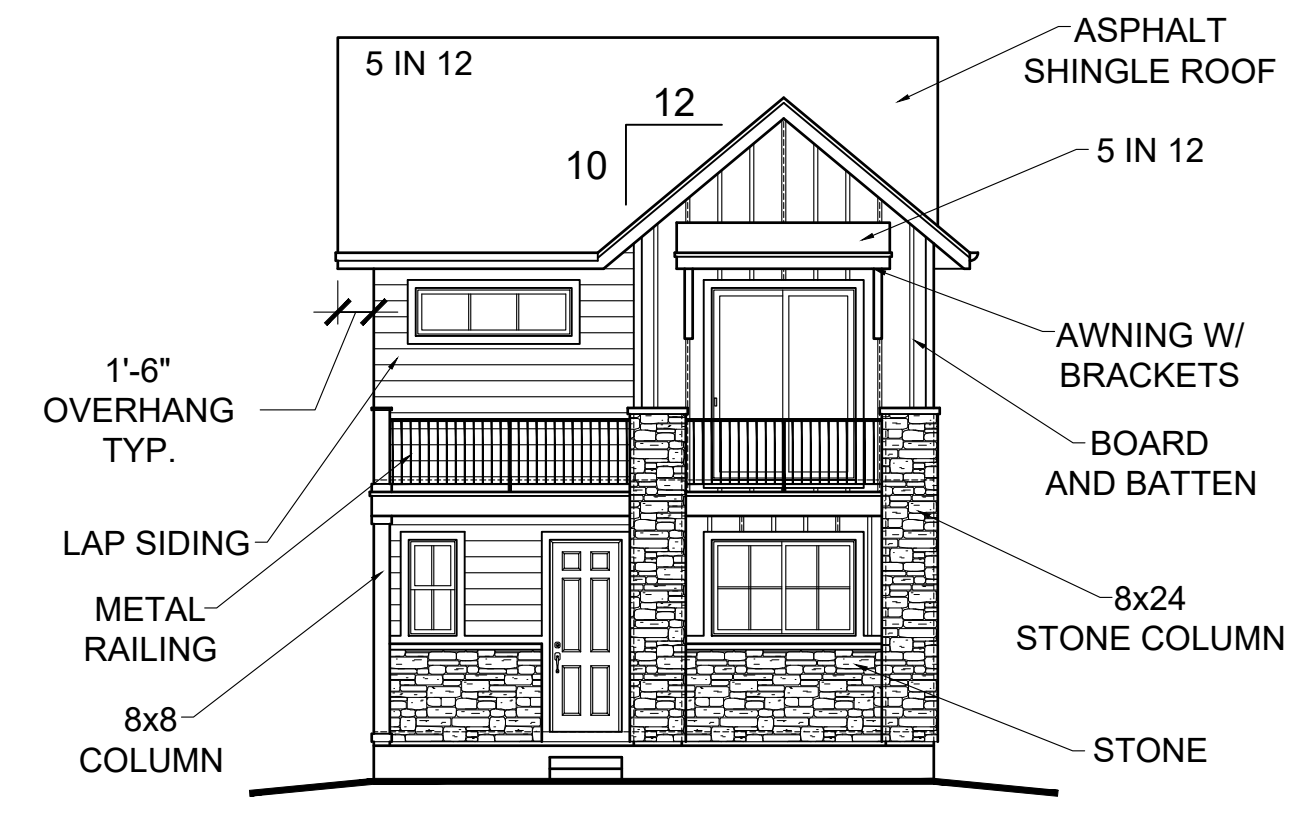
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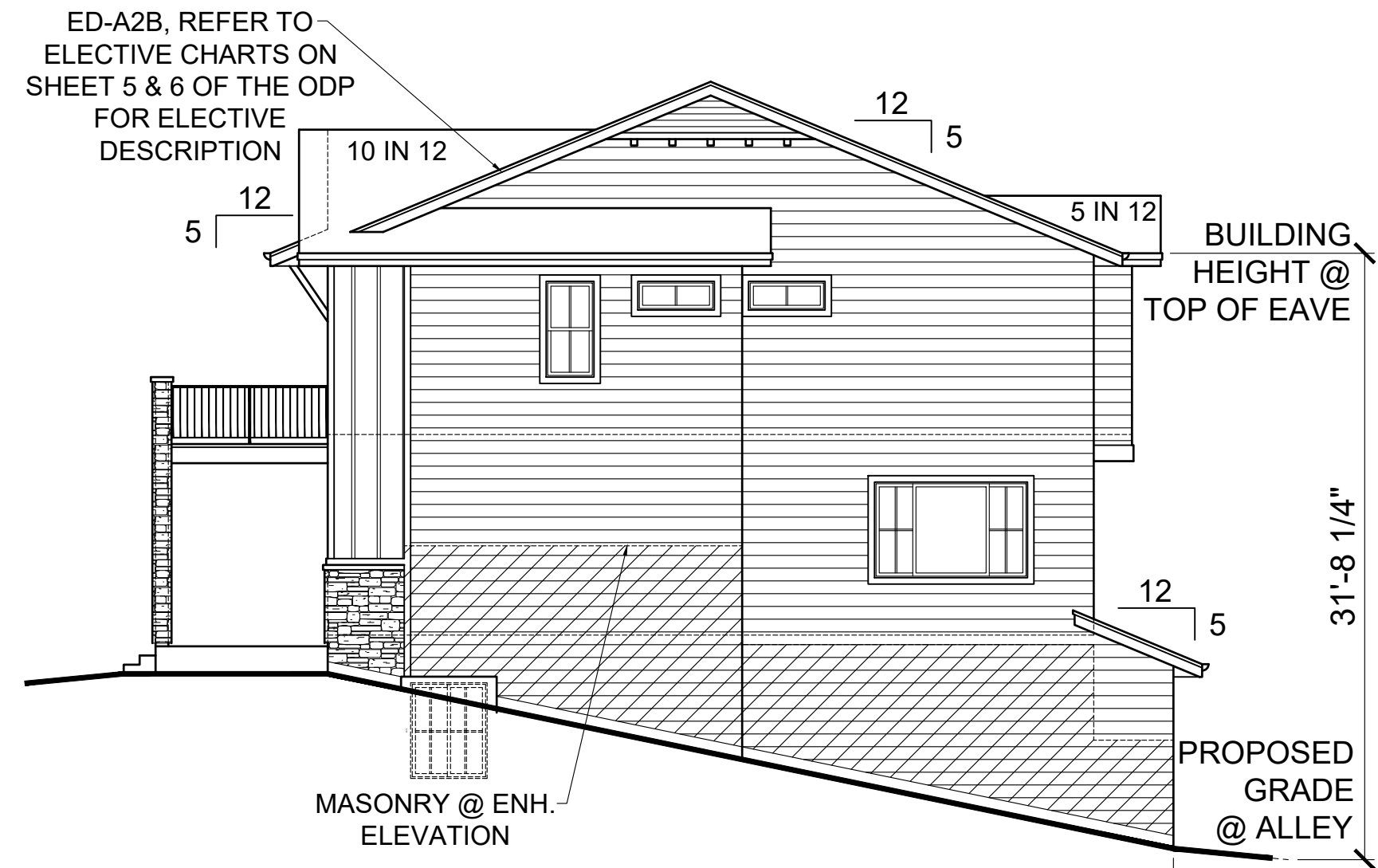
UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



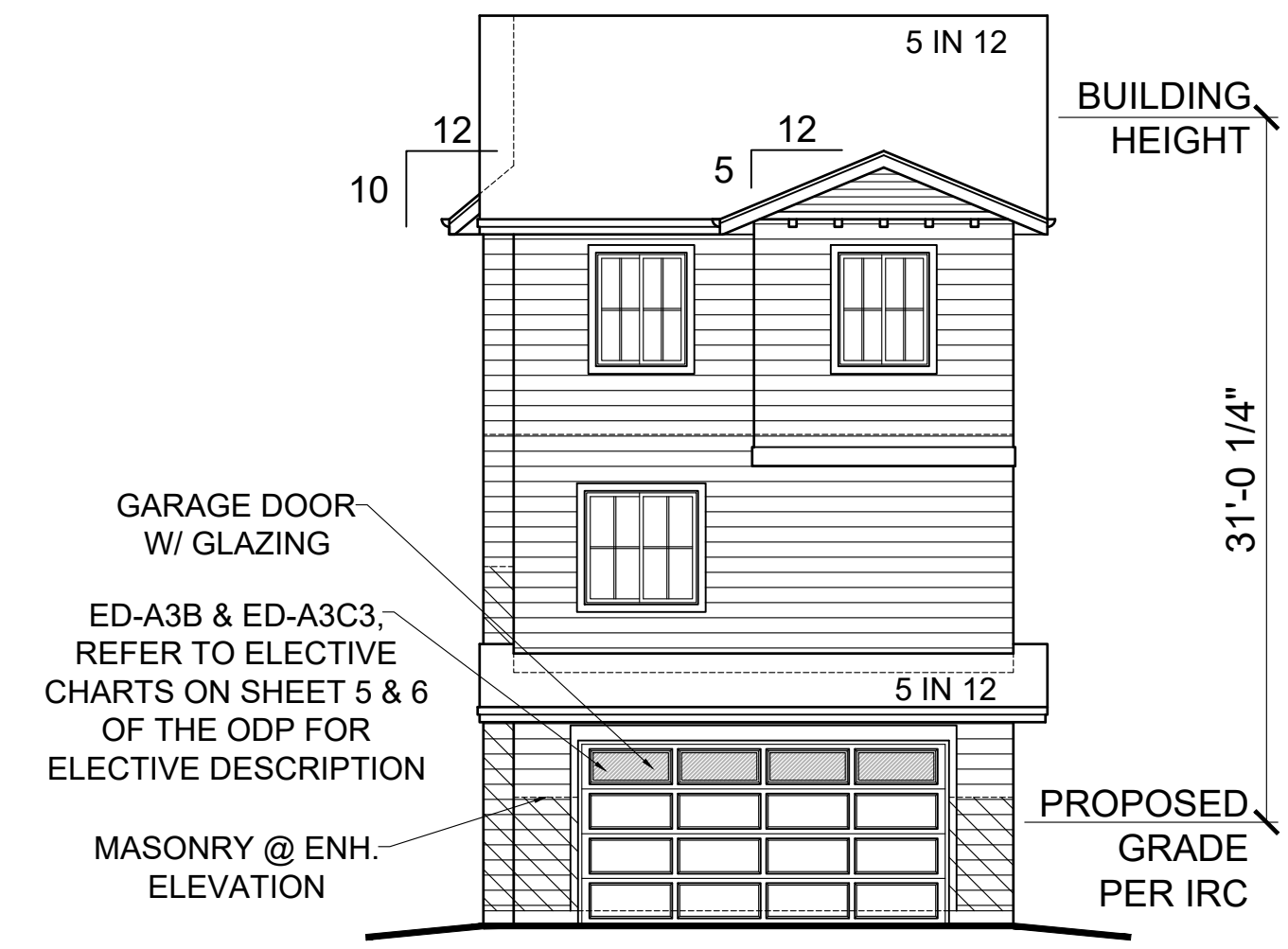
PLAN 3 ELEVATION 'A' - LEFT
 30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



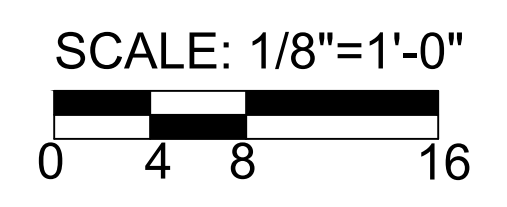
PLAN 3 ELEVATION 'A' - FRONT
 34% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - RIGHT
 30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - REAR
 SCALE: 1/8" = 1'-0"



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76 OF 87	PLAN 3 ELEVATION 'A'

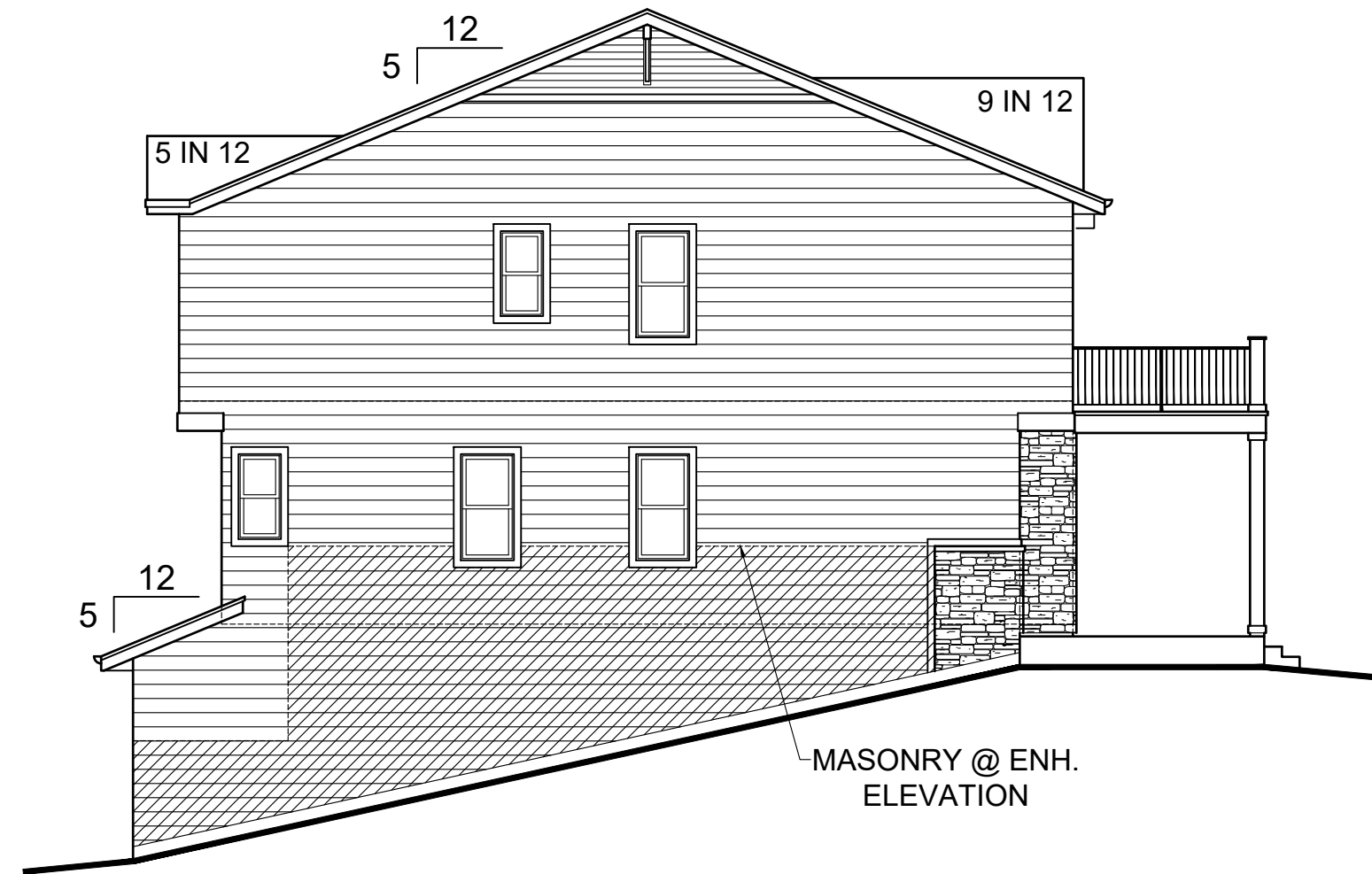
OFFICIAL DEVELOPMENT PLAN
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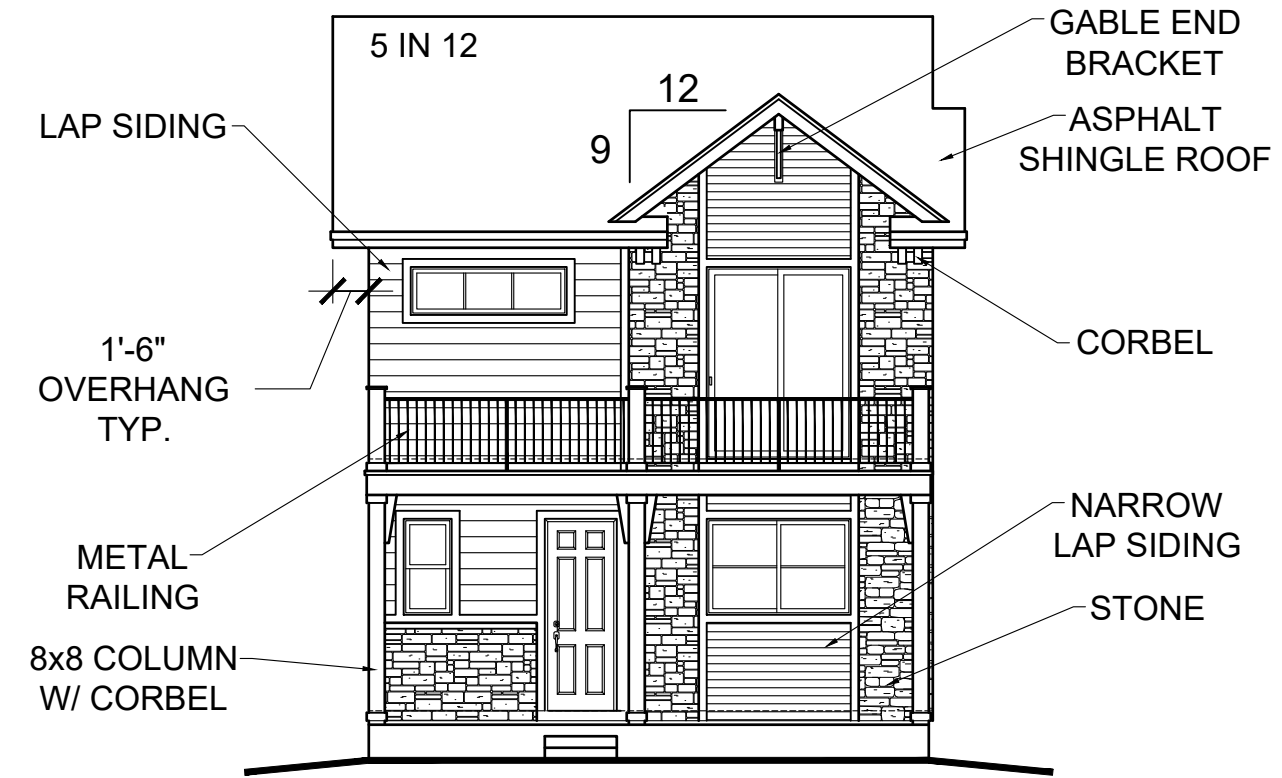
UPLANDS

DATE: 06.07.2023

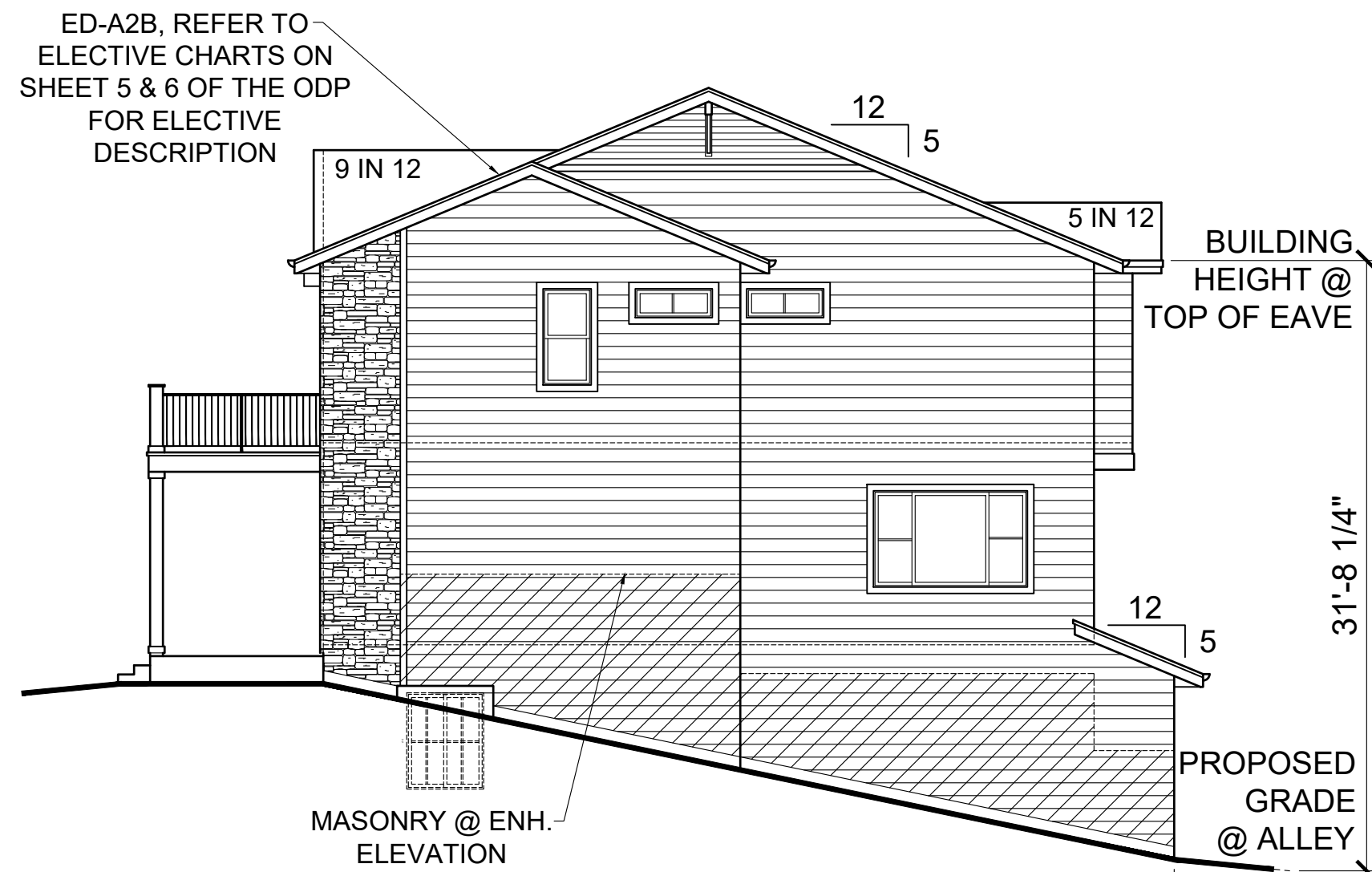
UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



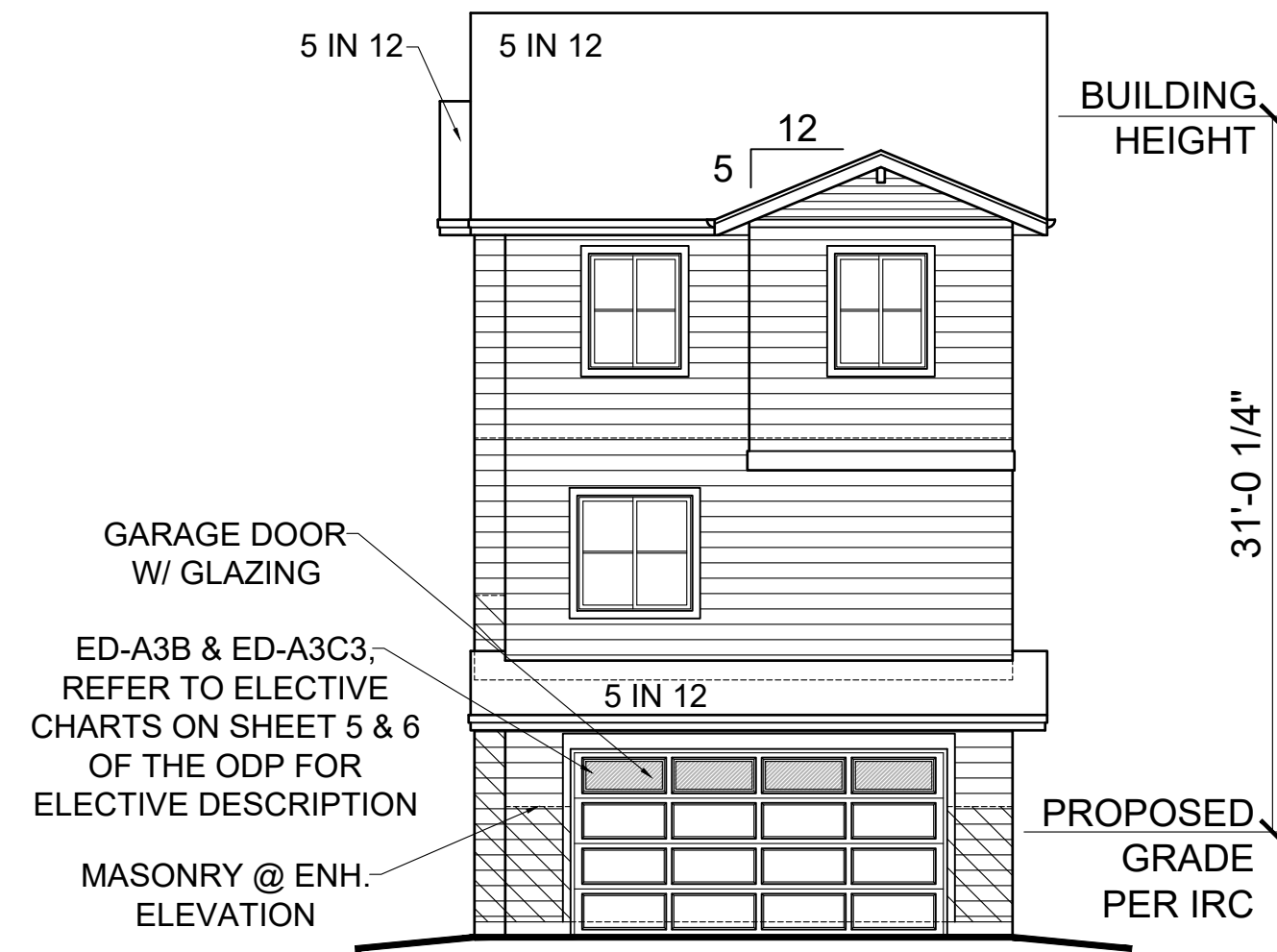
PLAN 3 ELEVATION 'B' - LEFT
 30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



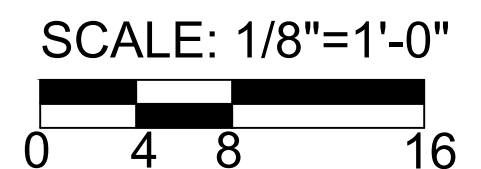
PLAN 3 ELEVATION 'B' - FRONT
 42% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'B' - RIGHT
 31% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'B' - REAR
 SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
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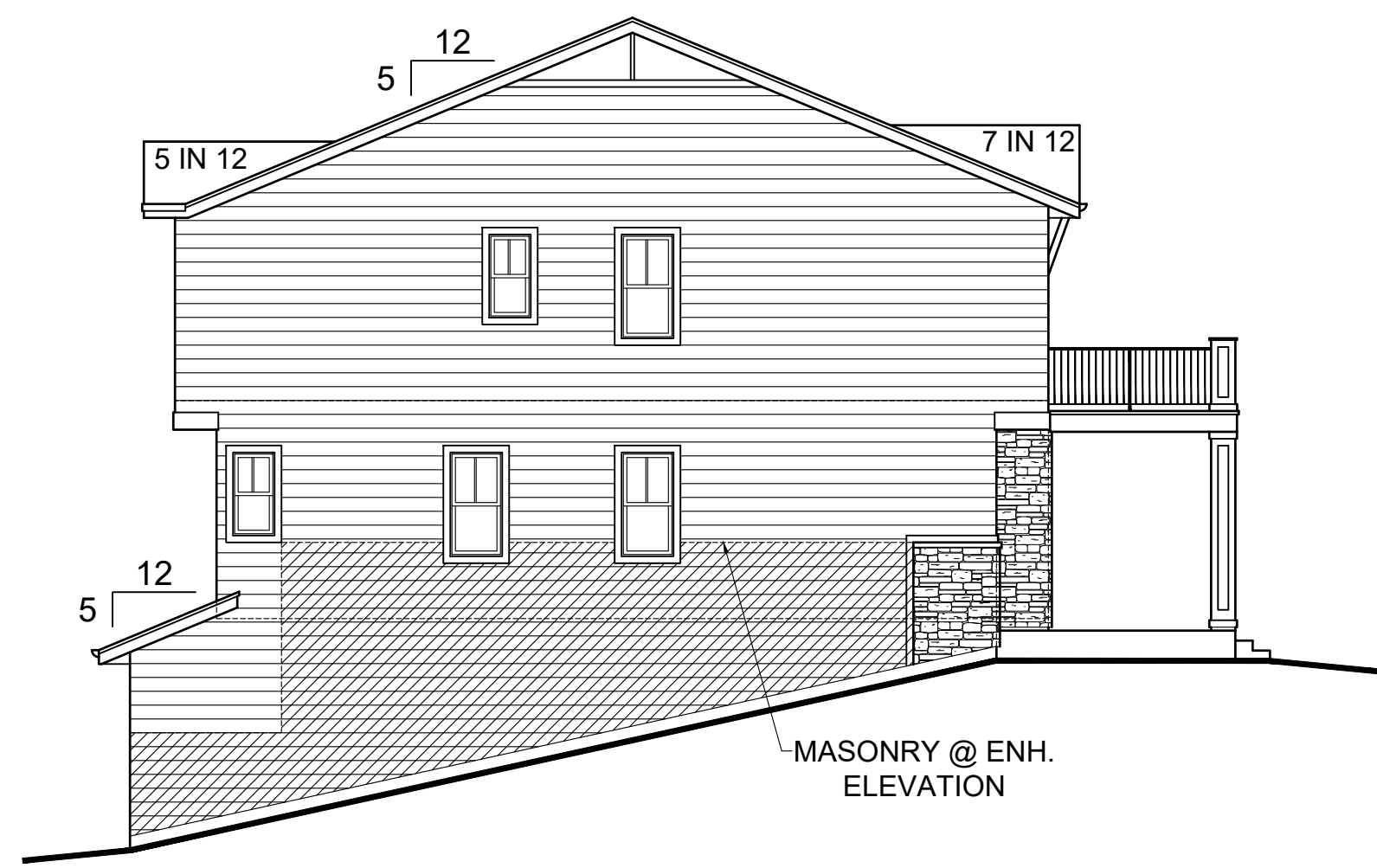
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
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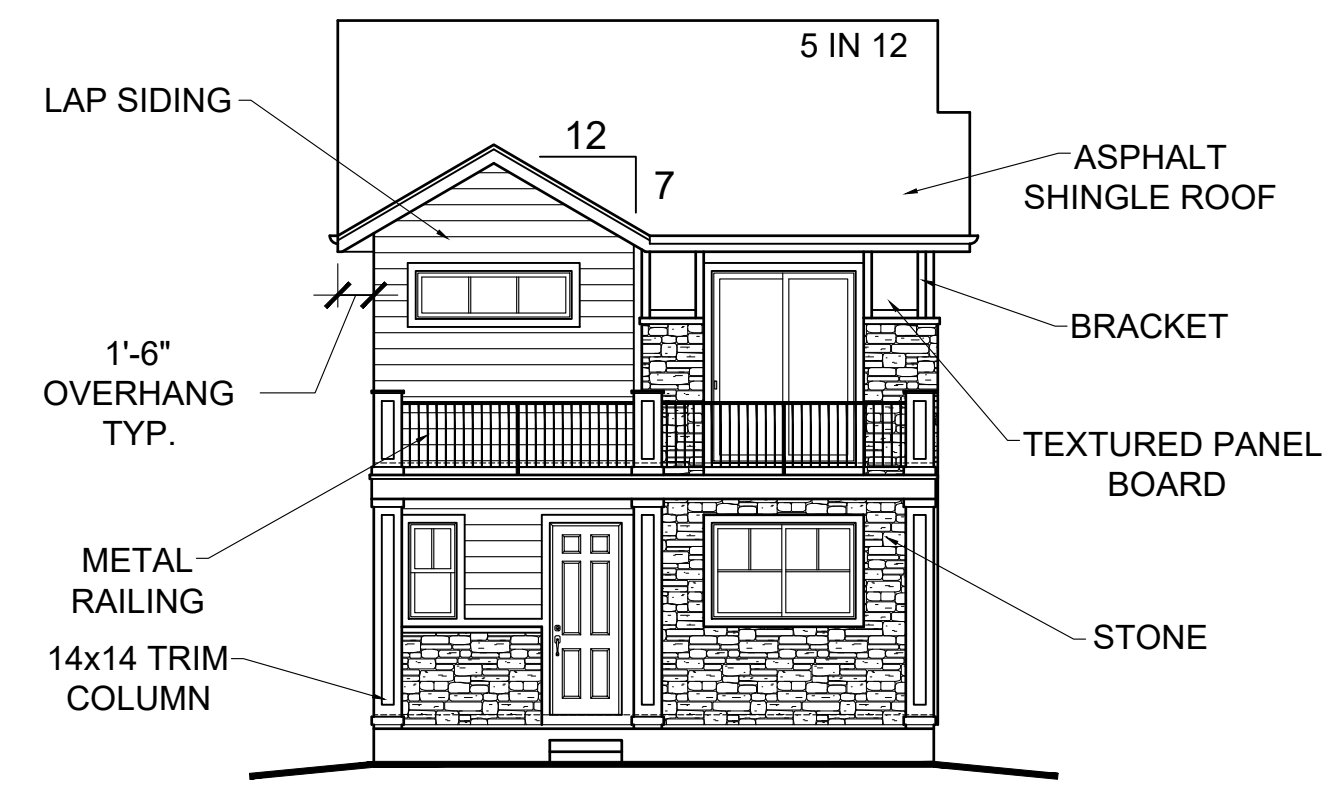
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DATE: 06.07.2023

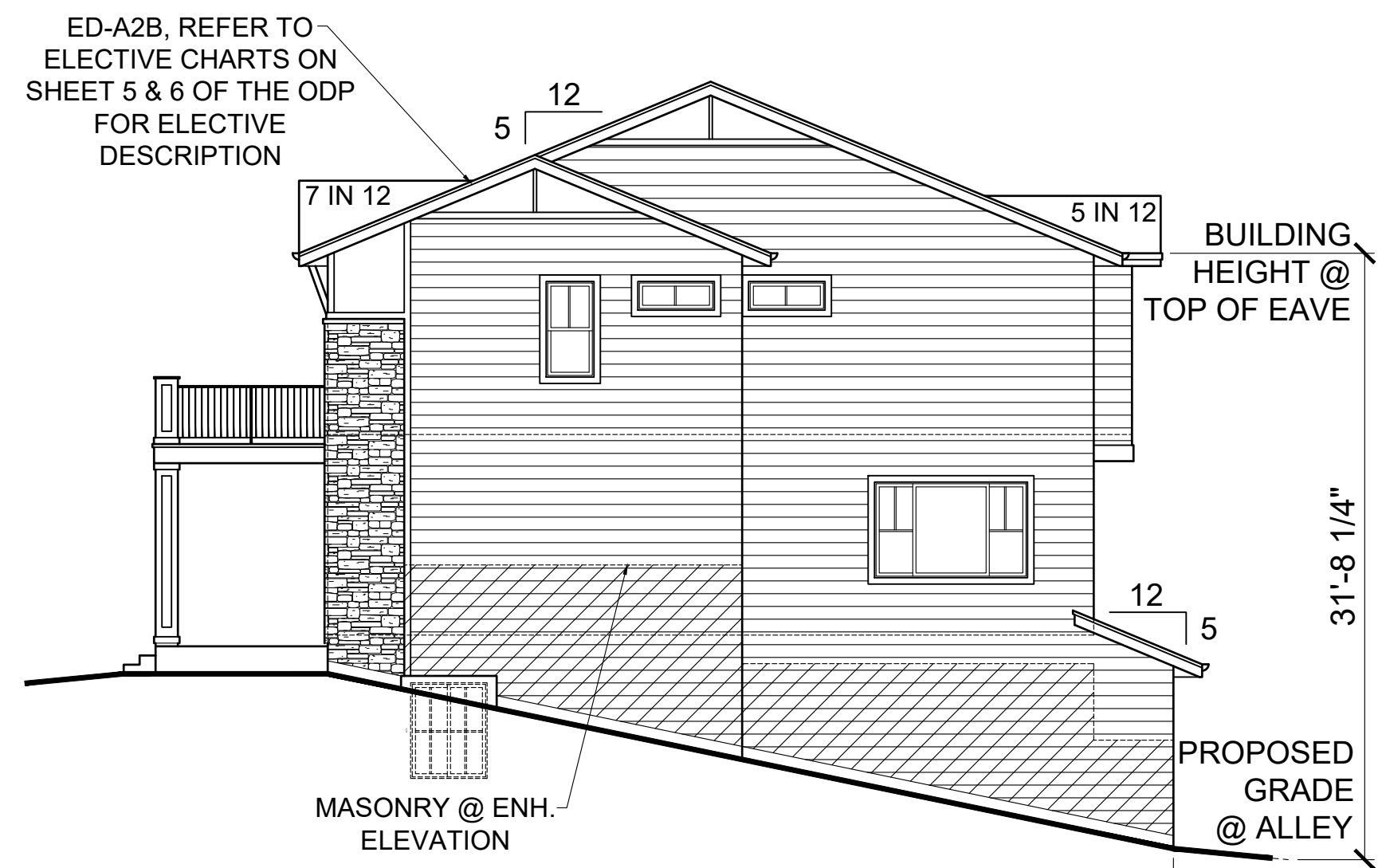
UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



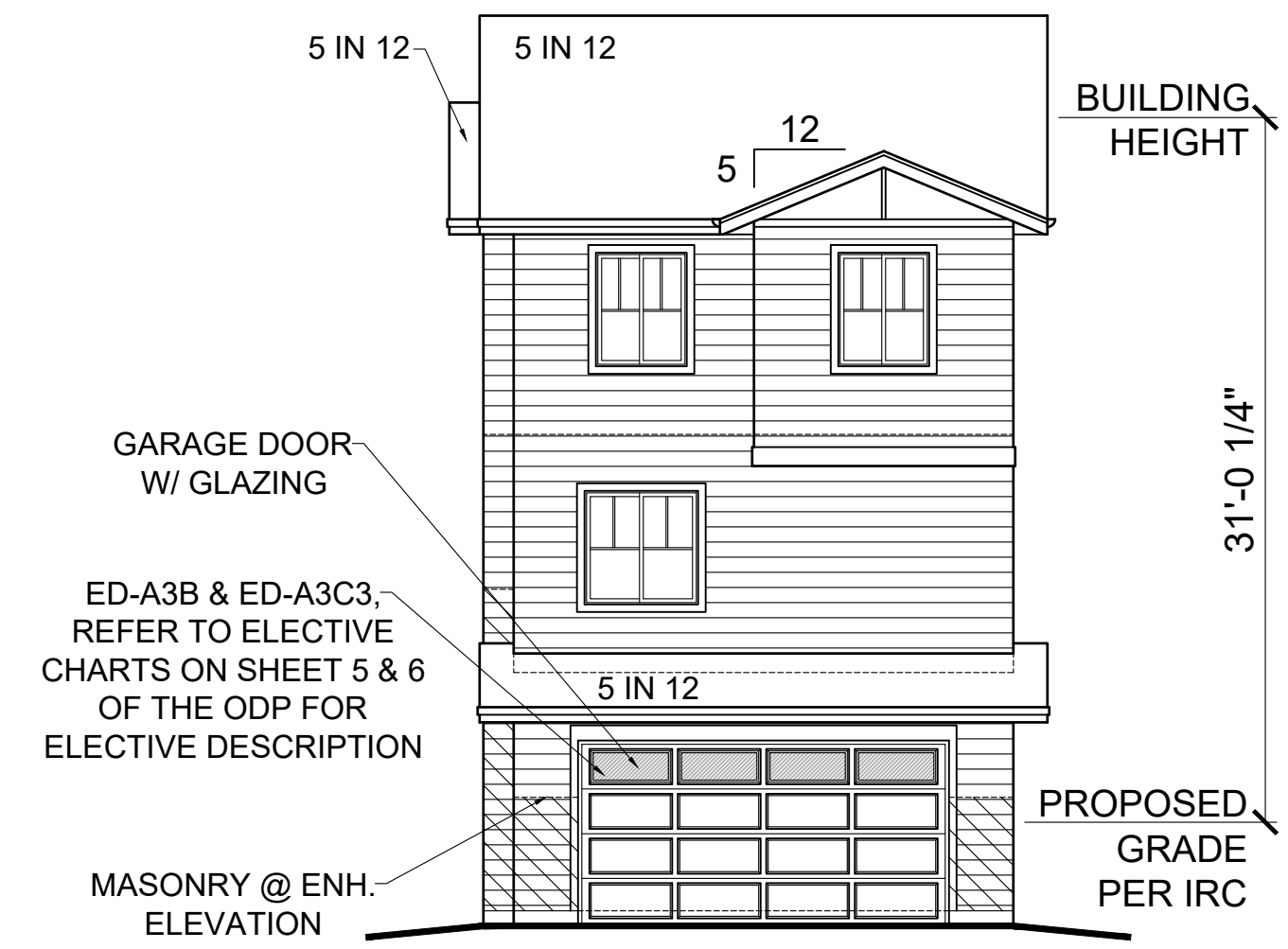
PLAN 3 ELEVATION 'C' - LEFT
 30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



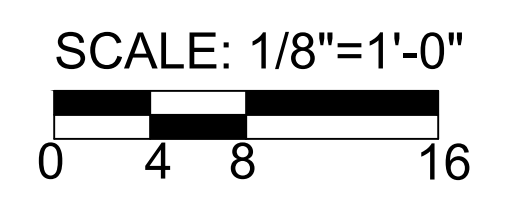
PLAN 3 ELEVATION 'C' - FRONT
 48% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - RIGHT
 30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - REAR
 SCALE: 1/8" = 1'-0"



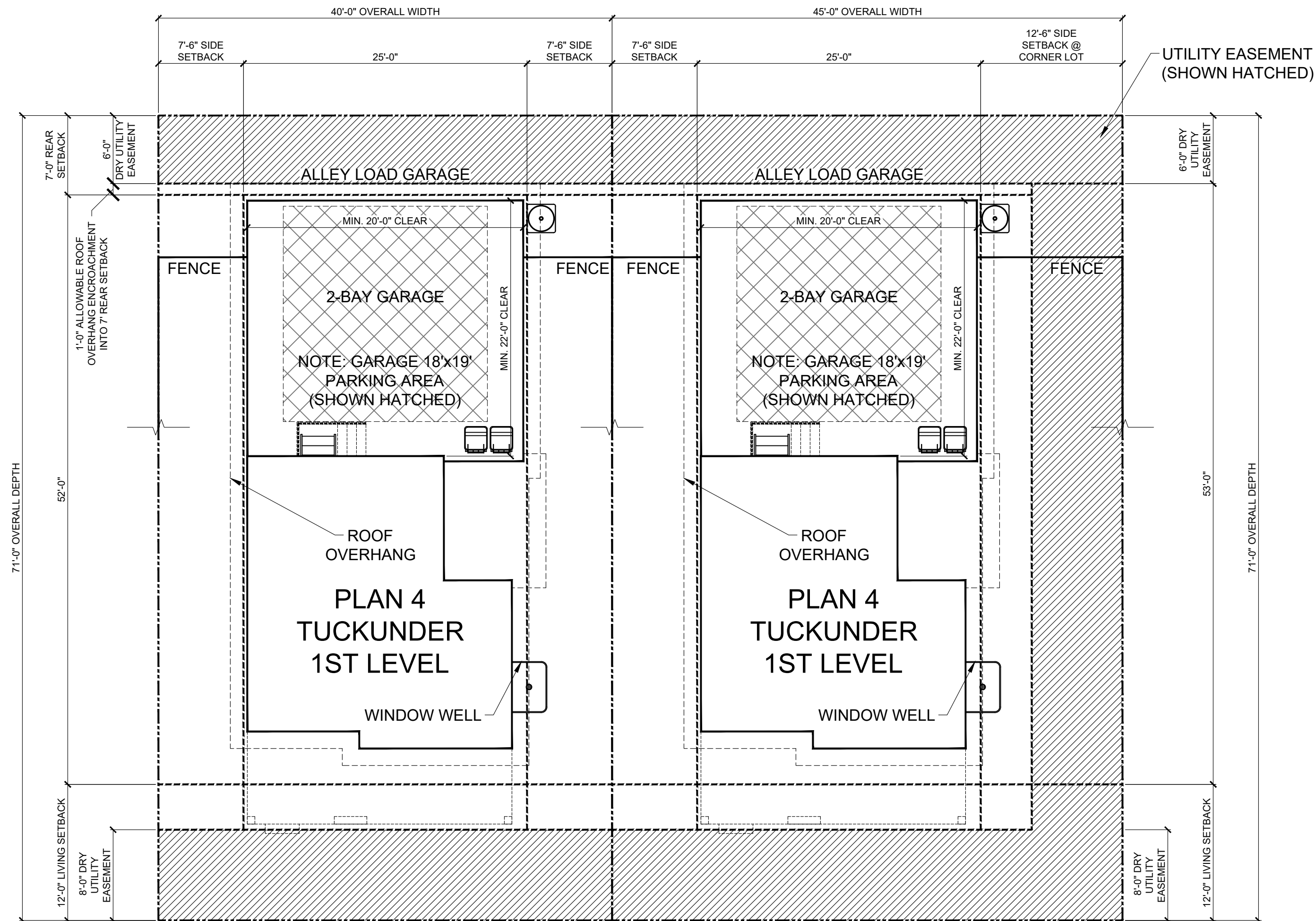
OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
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78 OF 87	PLAN 3 ELEVATION 'C'

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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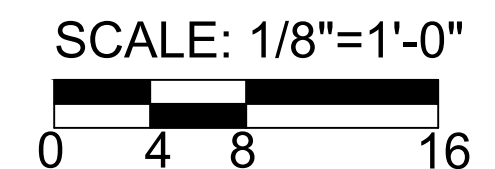
DATE: 06.07.2023



**SINGLE FAMILY TUCKUNDER
 LOT TYPICAL PLAN 4 - 1ST LEVEL**

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE SCREENED WITH YEAR-ROUND LANDSCAPING, OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT
 4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE, AND SFD HOMES WILL BE DESIGNED AS SOLAR READY



UPLANDS FILING NO. 2 BLOCK 1
 OFFICIAL DEVELOPMENT PLAN
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OFFICIAL DEVELOPMENT PLAN
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A PLANNED UNIT DEVELOPMENT
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COUNTY OF ADAMS, STATE OF COLORADO
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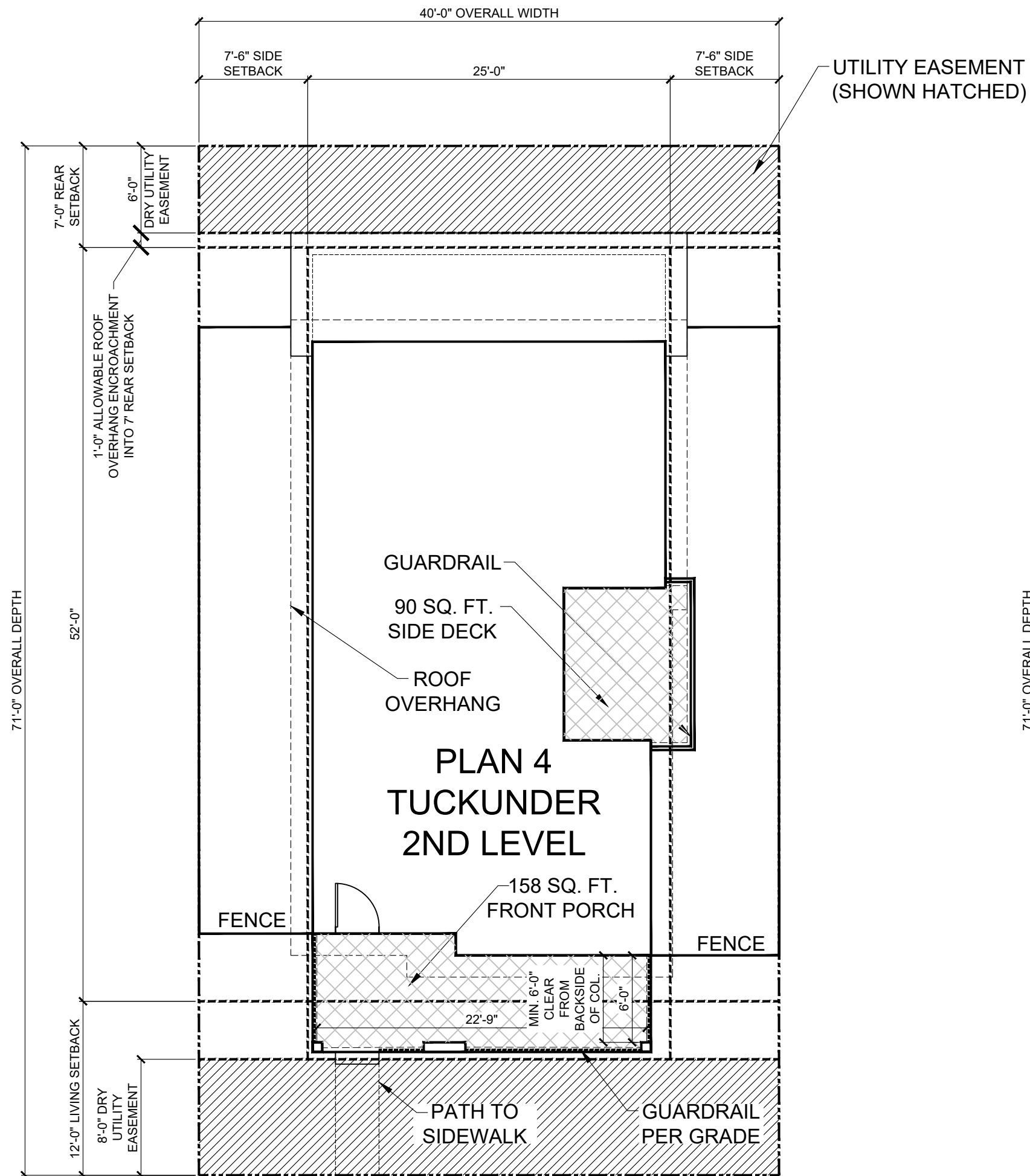
UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023
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PLAN 4 LOT TYPICALS

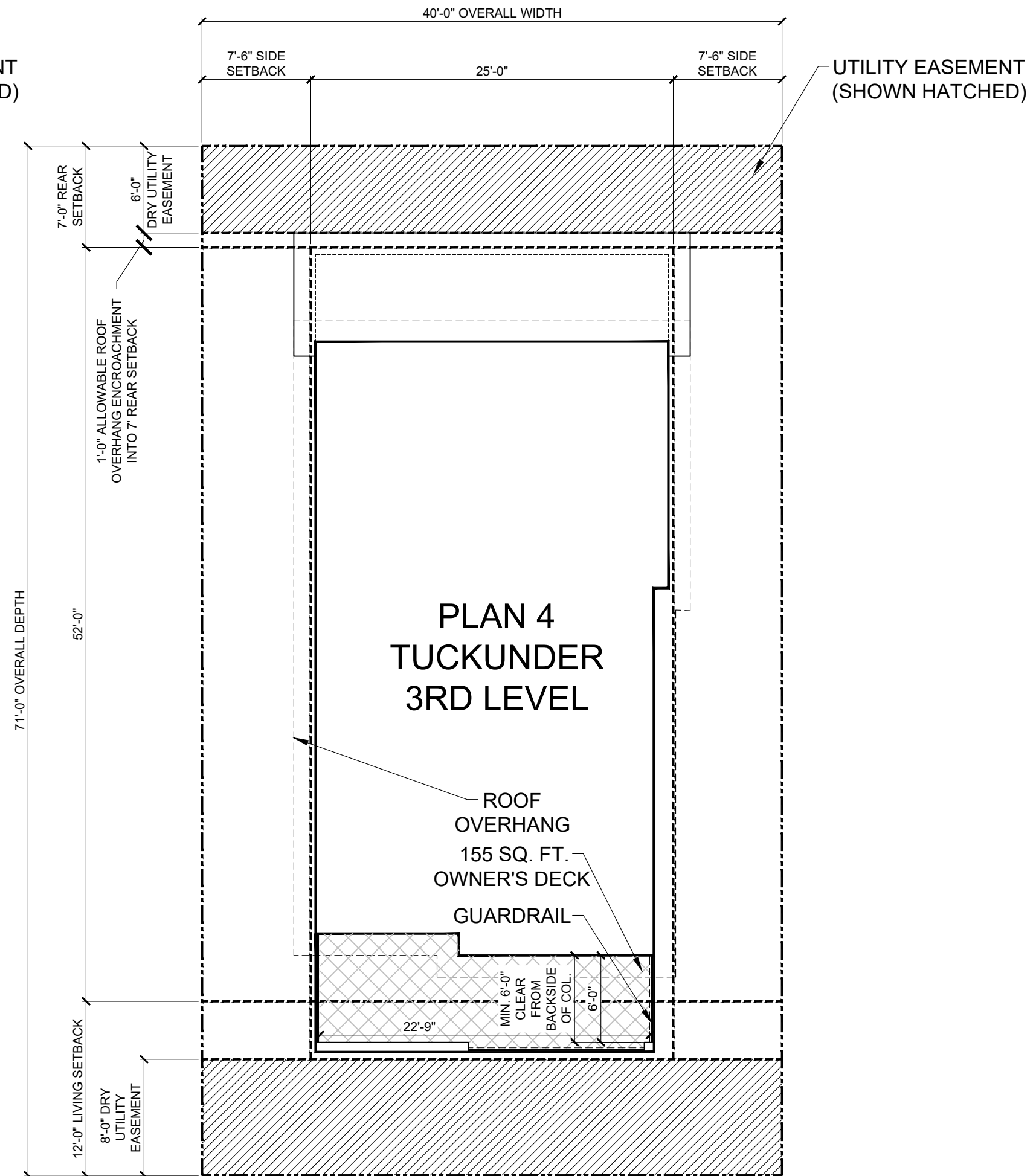


**SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 4 - 2ND LEVEL**

2,338 TOTAL SQ. FT.

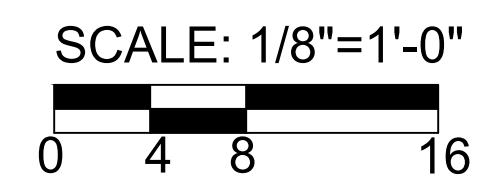
SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 403 TOTAL SQ. FT.
FRONT PORCH: 158 SQ. FT.
SIDE DECK: 90 SQ. FT.
OWNER'S DECK: 155 SQ. FT.



**SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 4 - 3RD LEVEL**

SCALE: 1/8" = 1'-0"



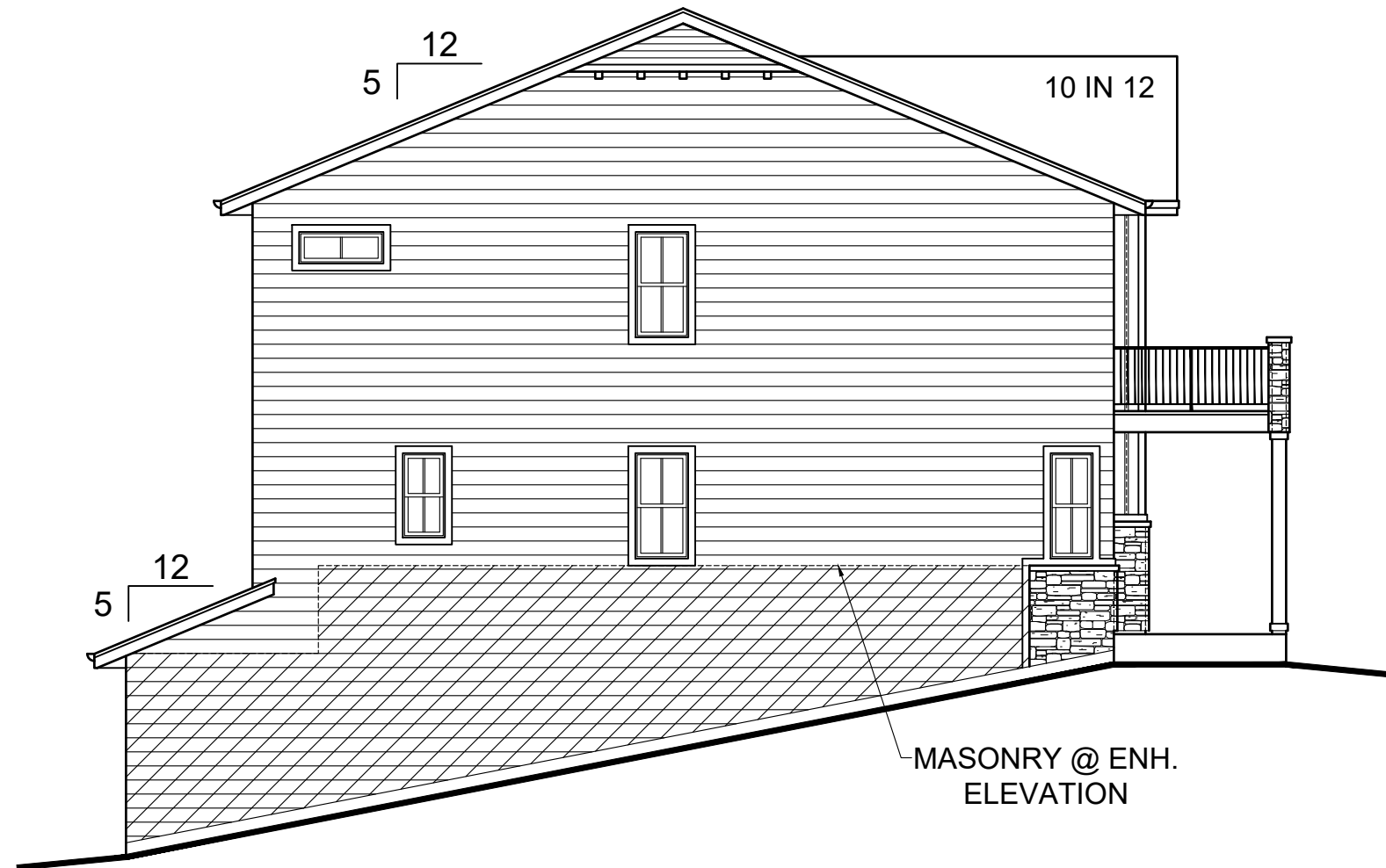
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
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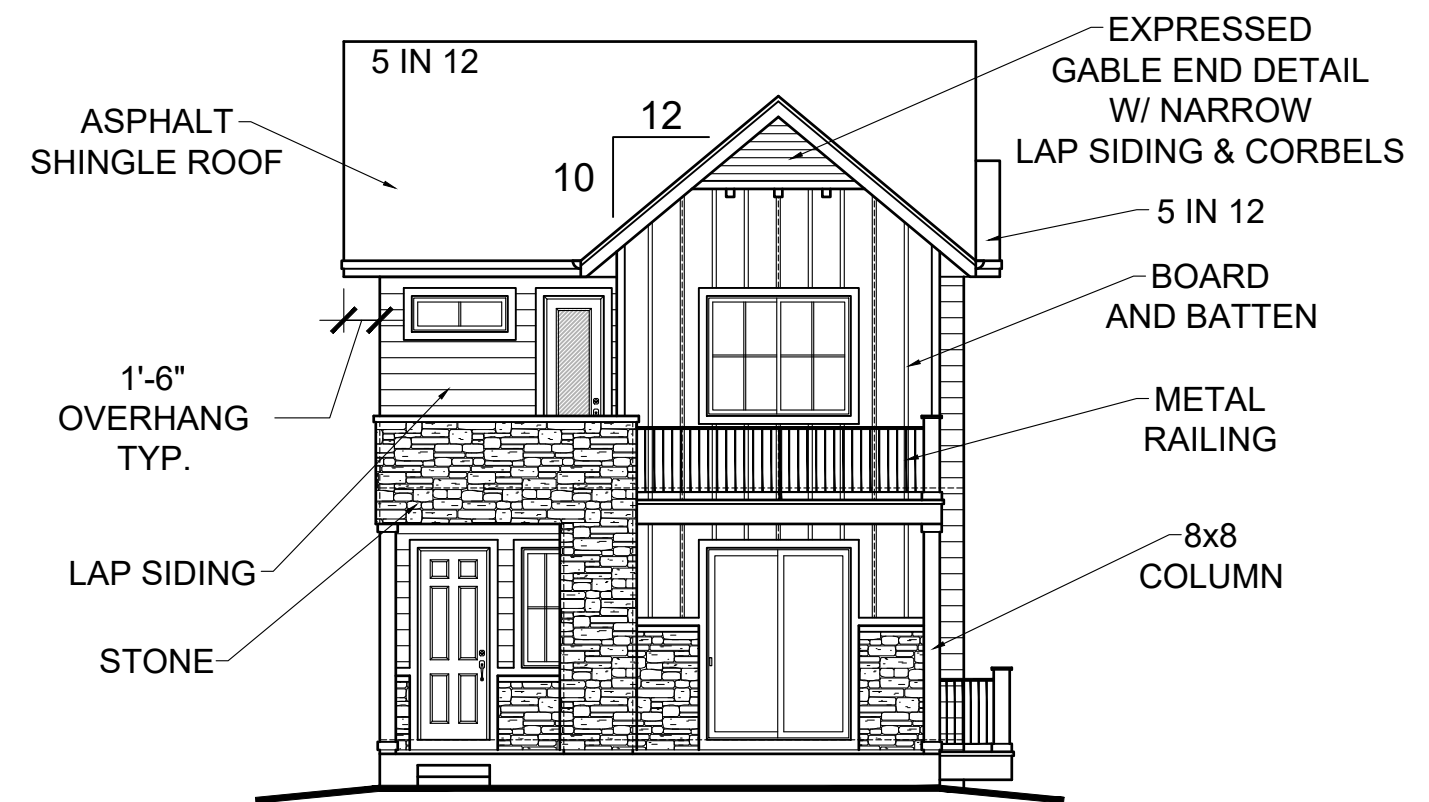
UPLANDS

DATE: 06.07.2023

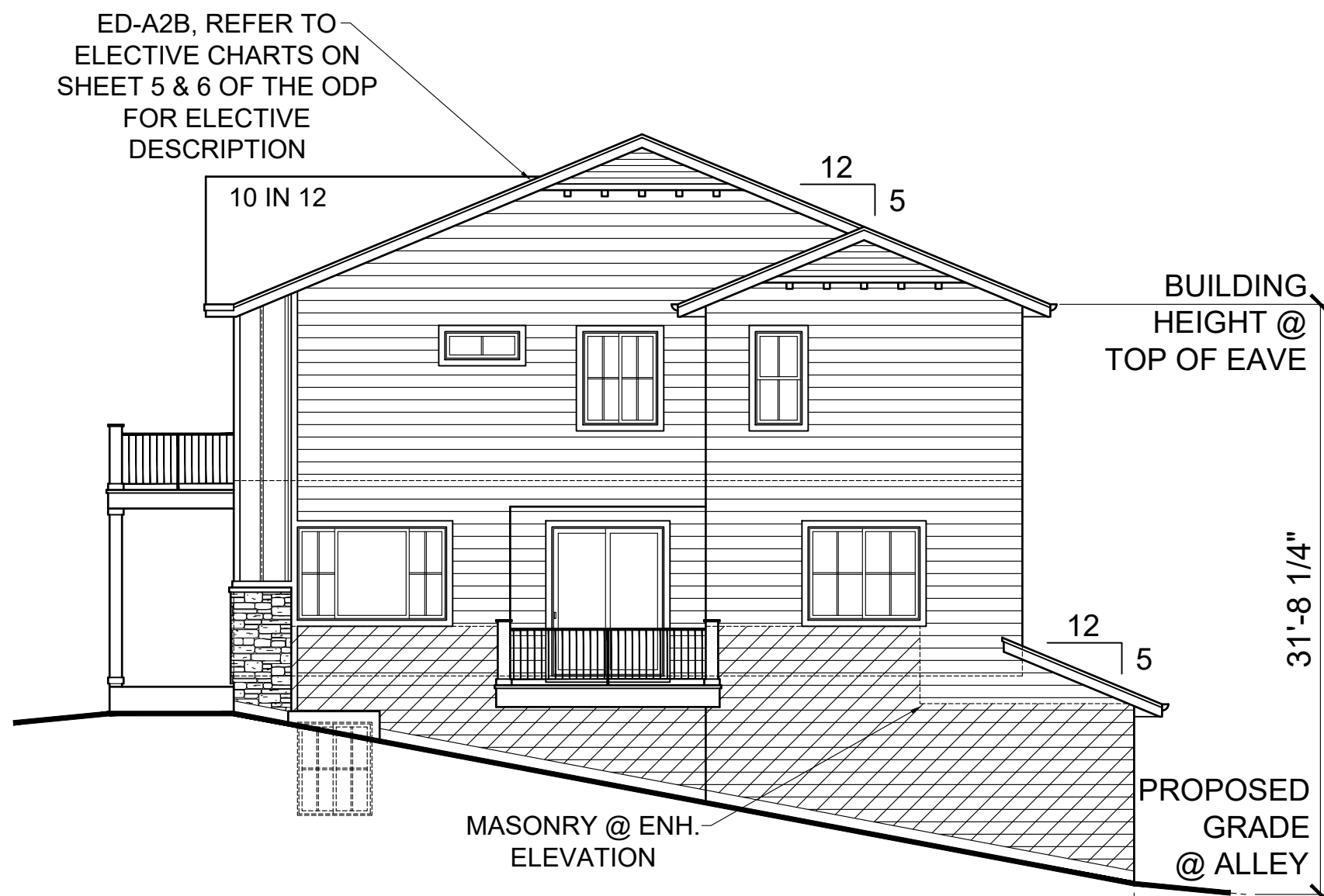
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



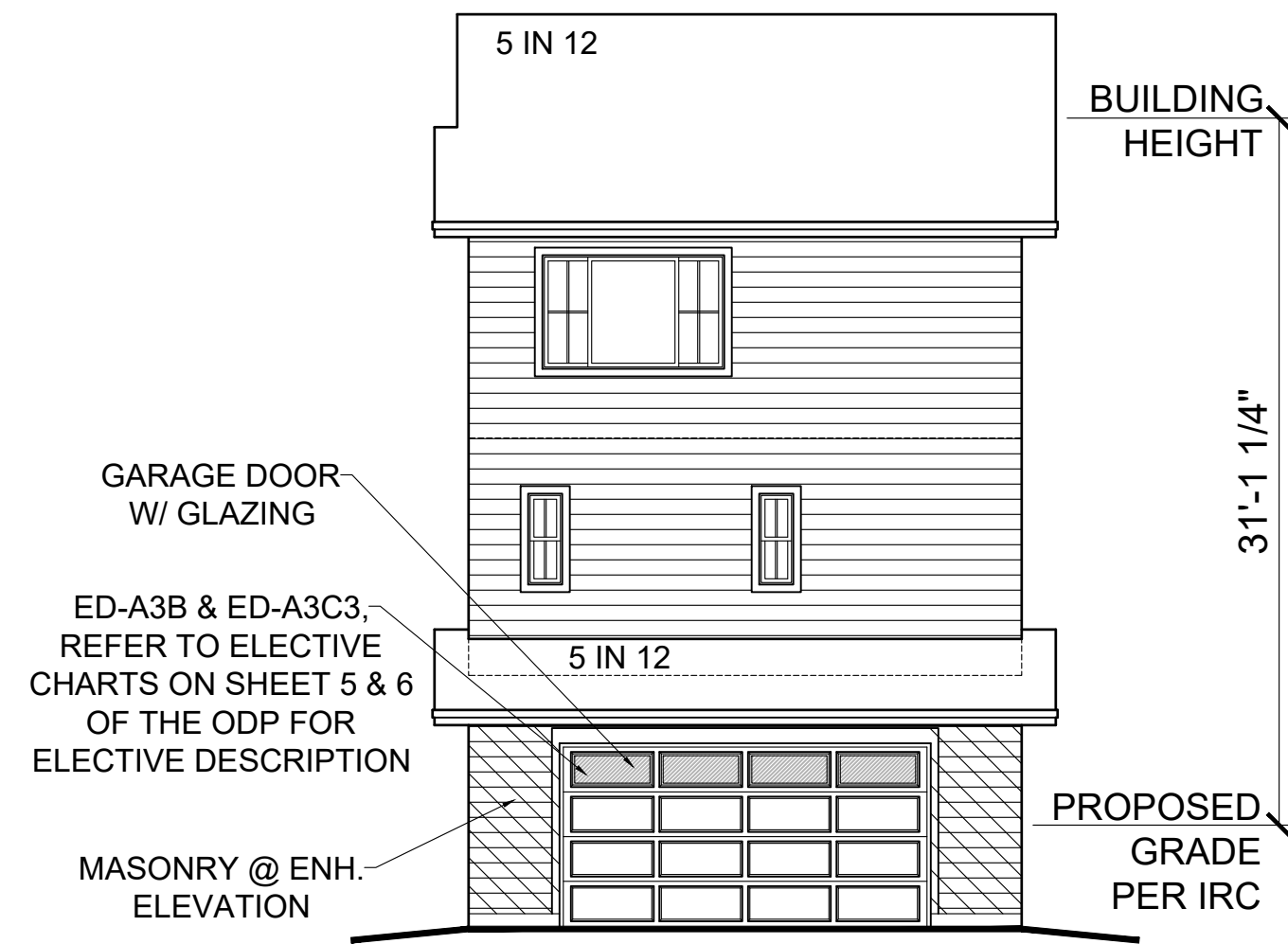
PLAN 4 ELEVATION 'A' - LEFT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



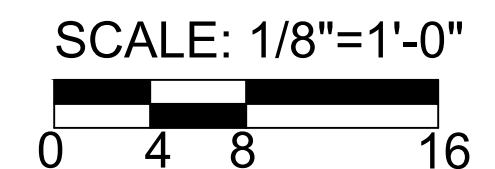
PLAN 4 ELEVATION 'A' - FRONT
31% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'A' - RIGHT
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'A' - REAR
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
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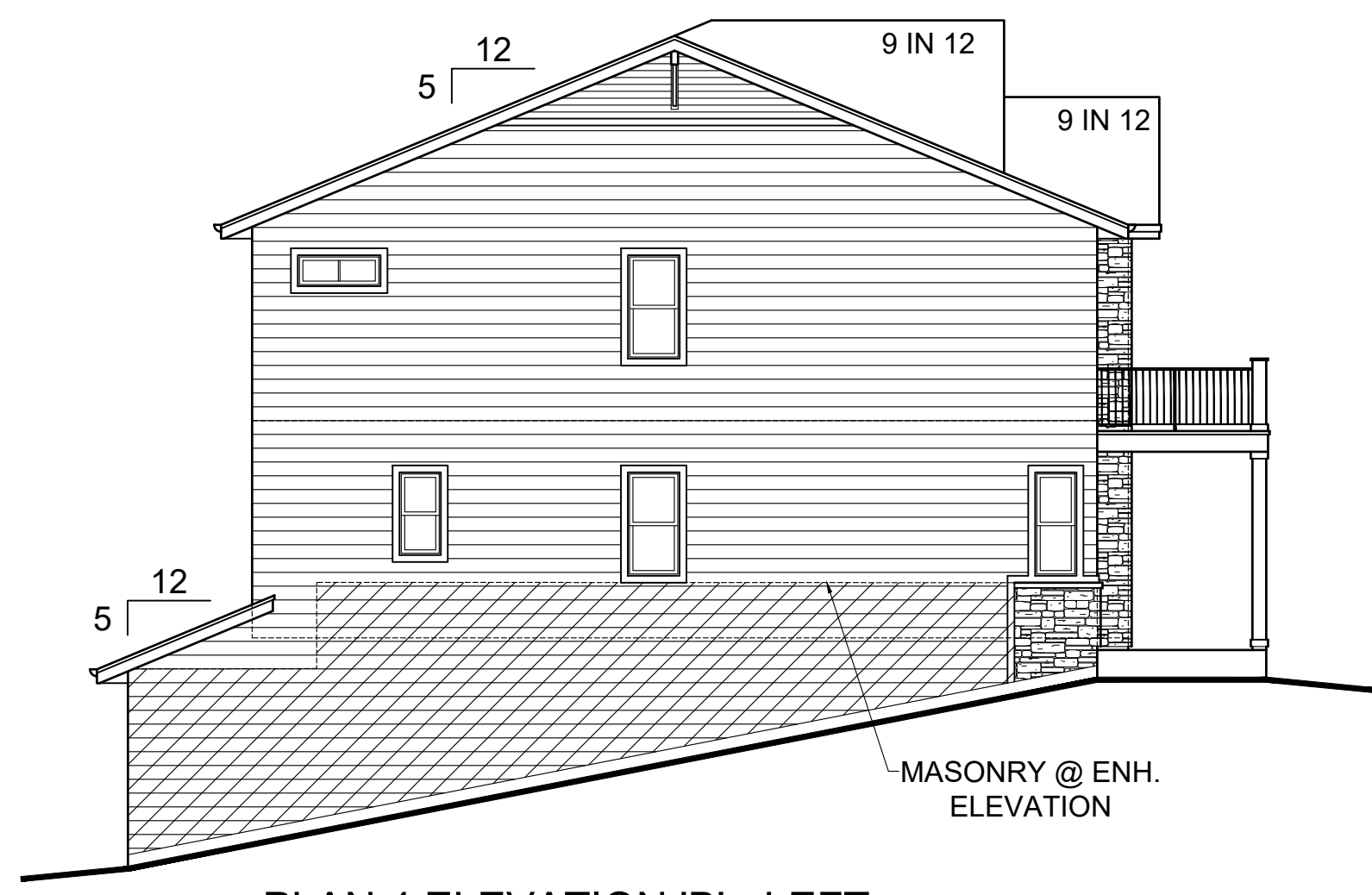
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
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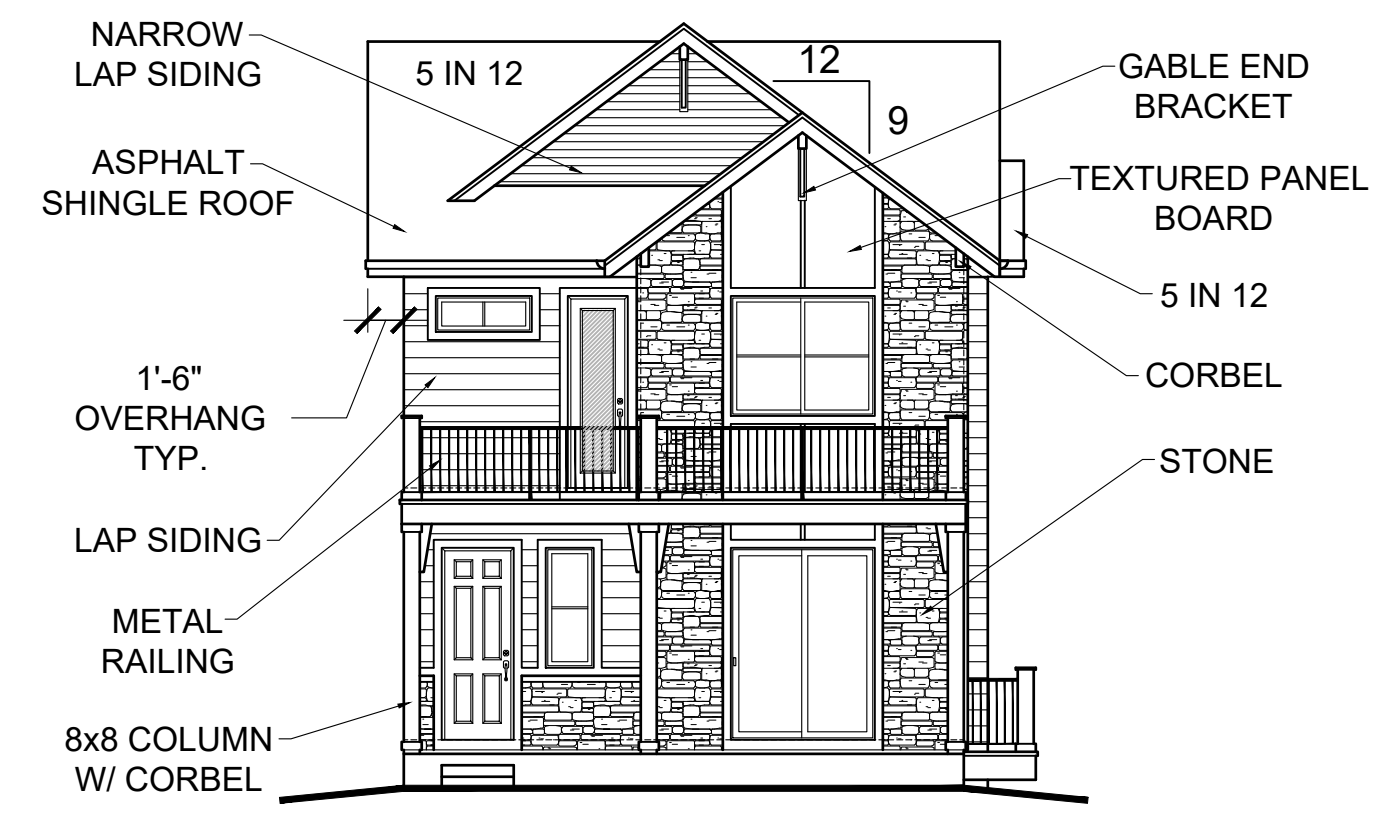
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DATE: 06.07.2023

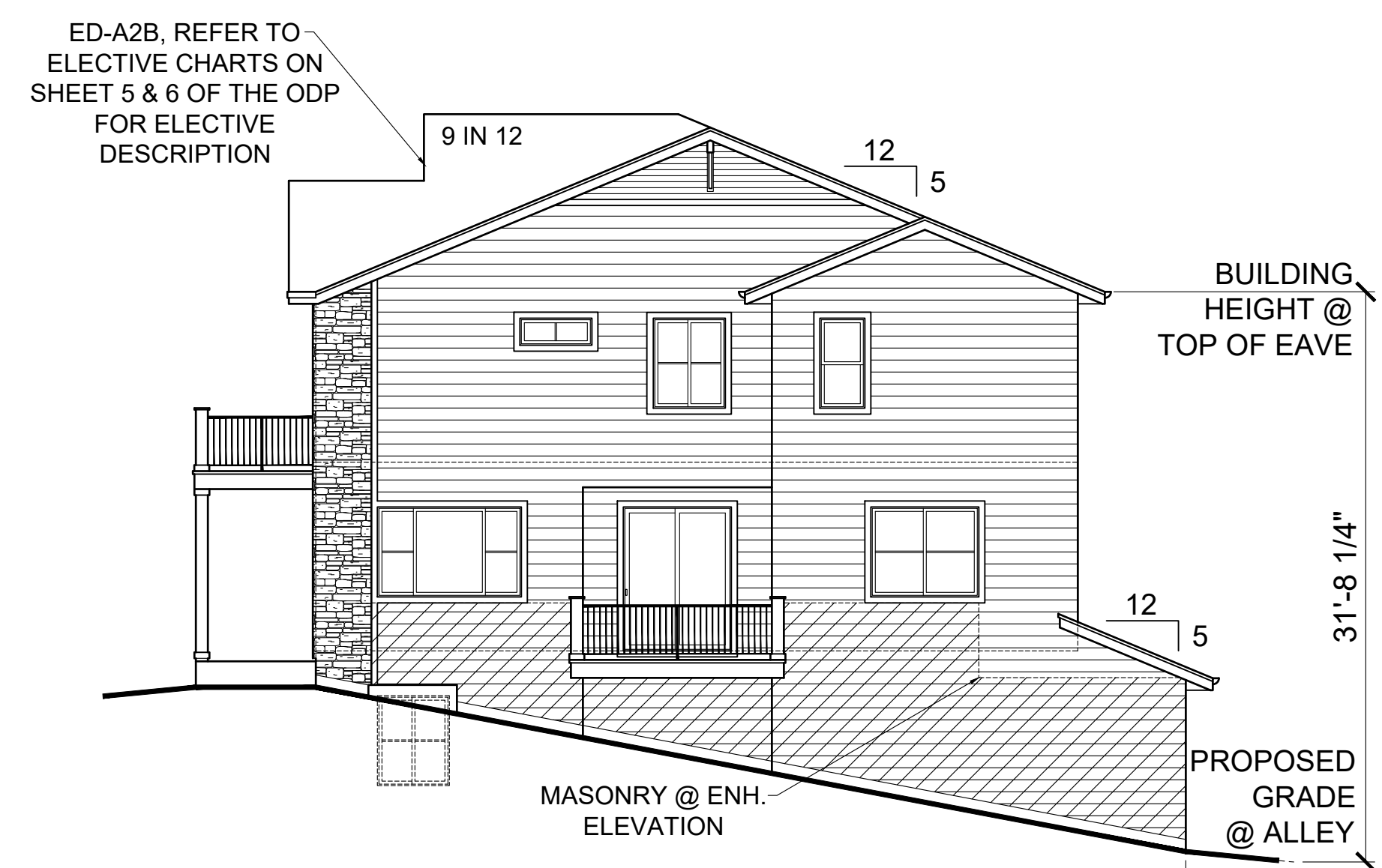
UPLANDS FILING NO. 2 BLOCK 1
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



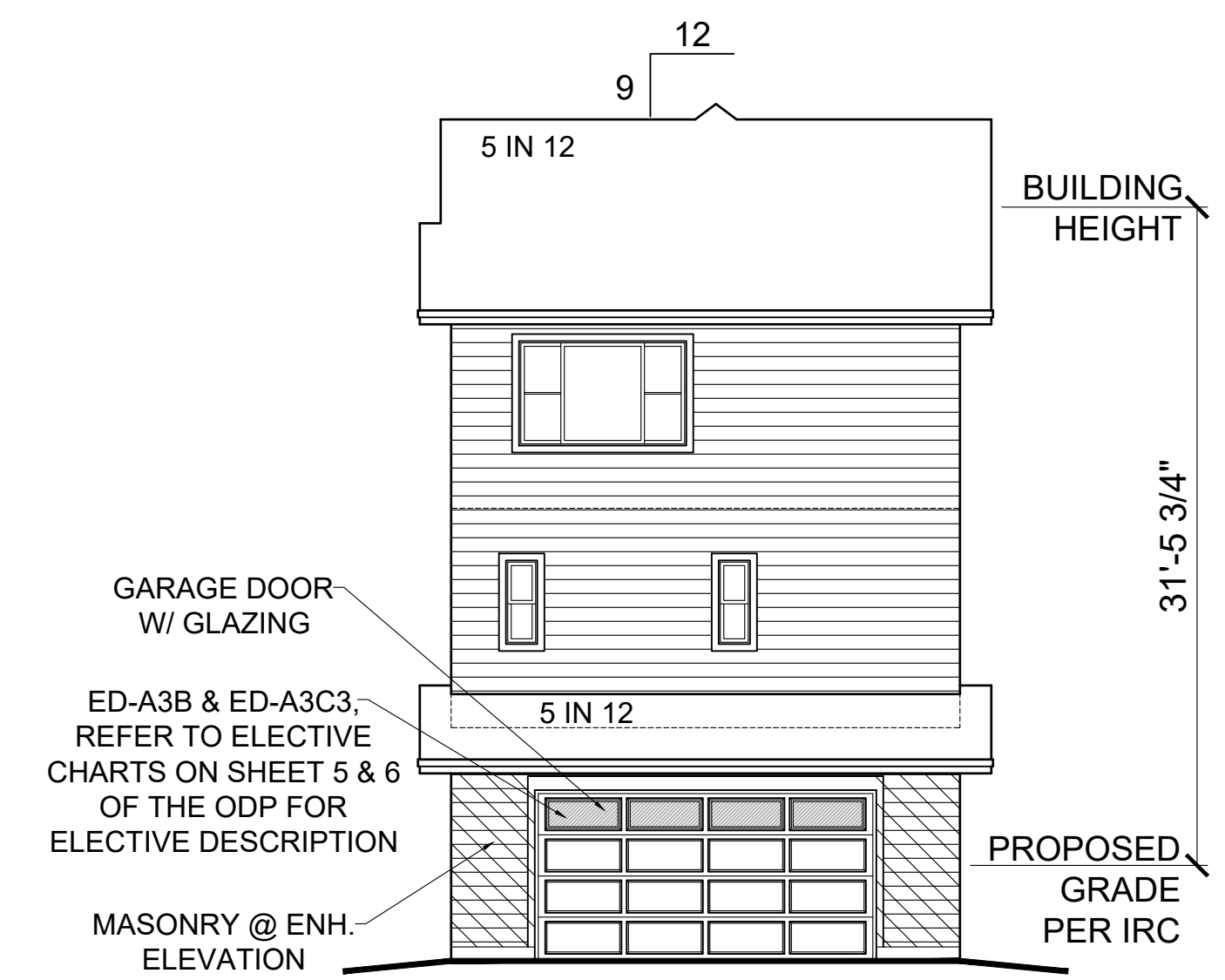
PLAN 4 ELEVATION 'B' - LEFT
32% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



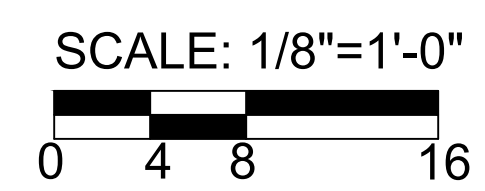
PLAN 4 ELEVATION 'B' - FRONT
41% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'B' - RIGHT
33% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'B' - REAR
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

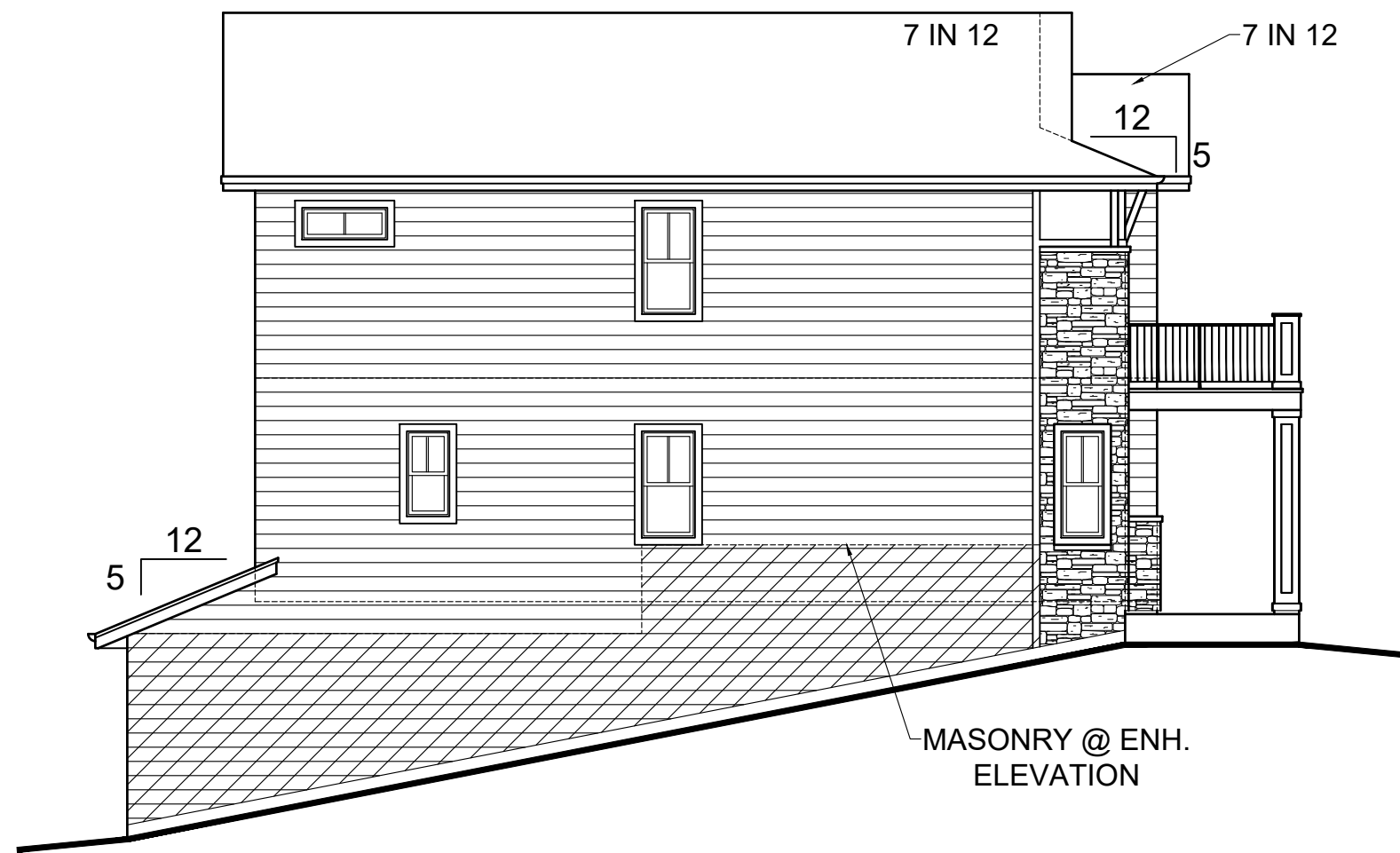
OFFICIAL DEVELOPMENT PLAN
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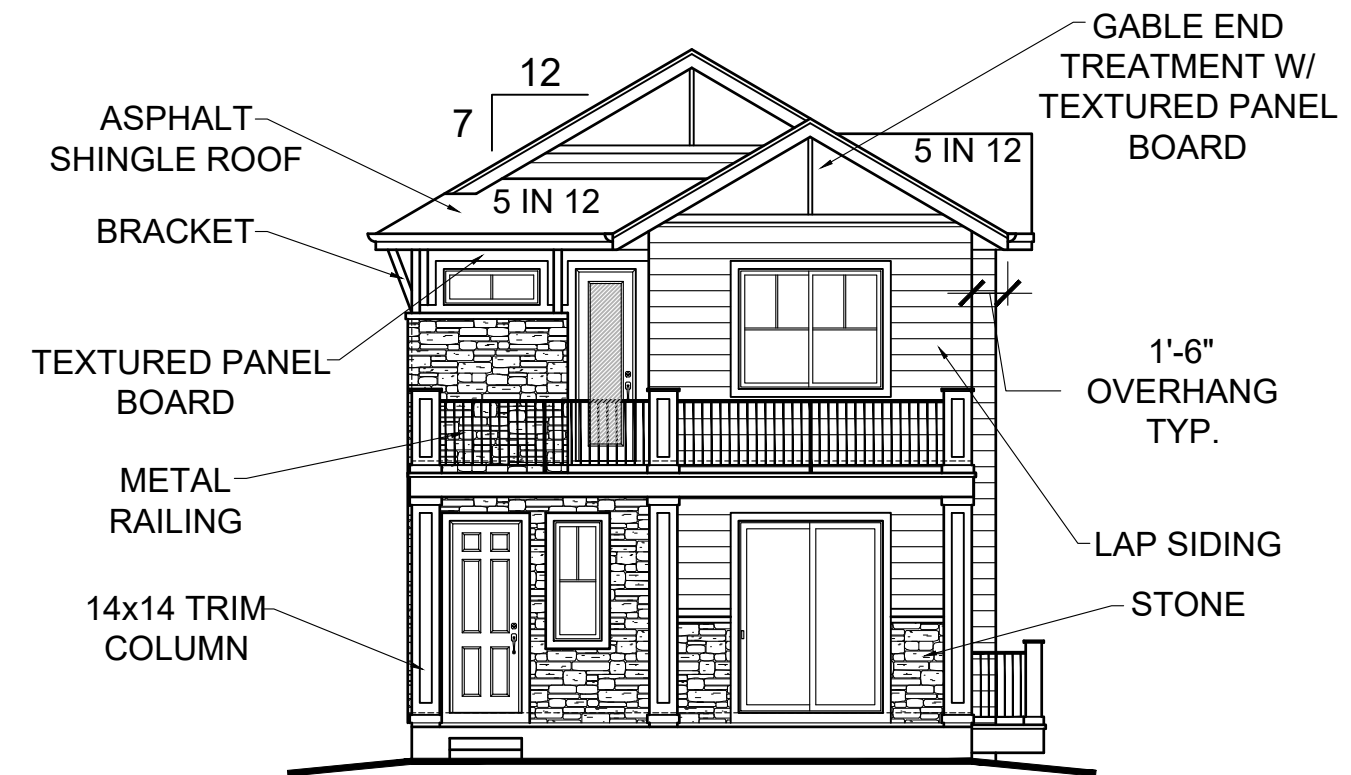
SUB-02: 04.13.23

SUB-03: 06.07.23

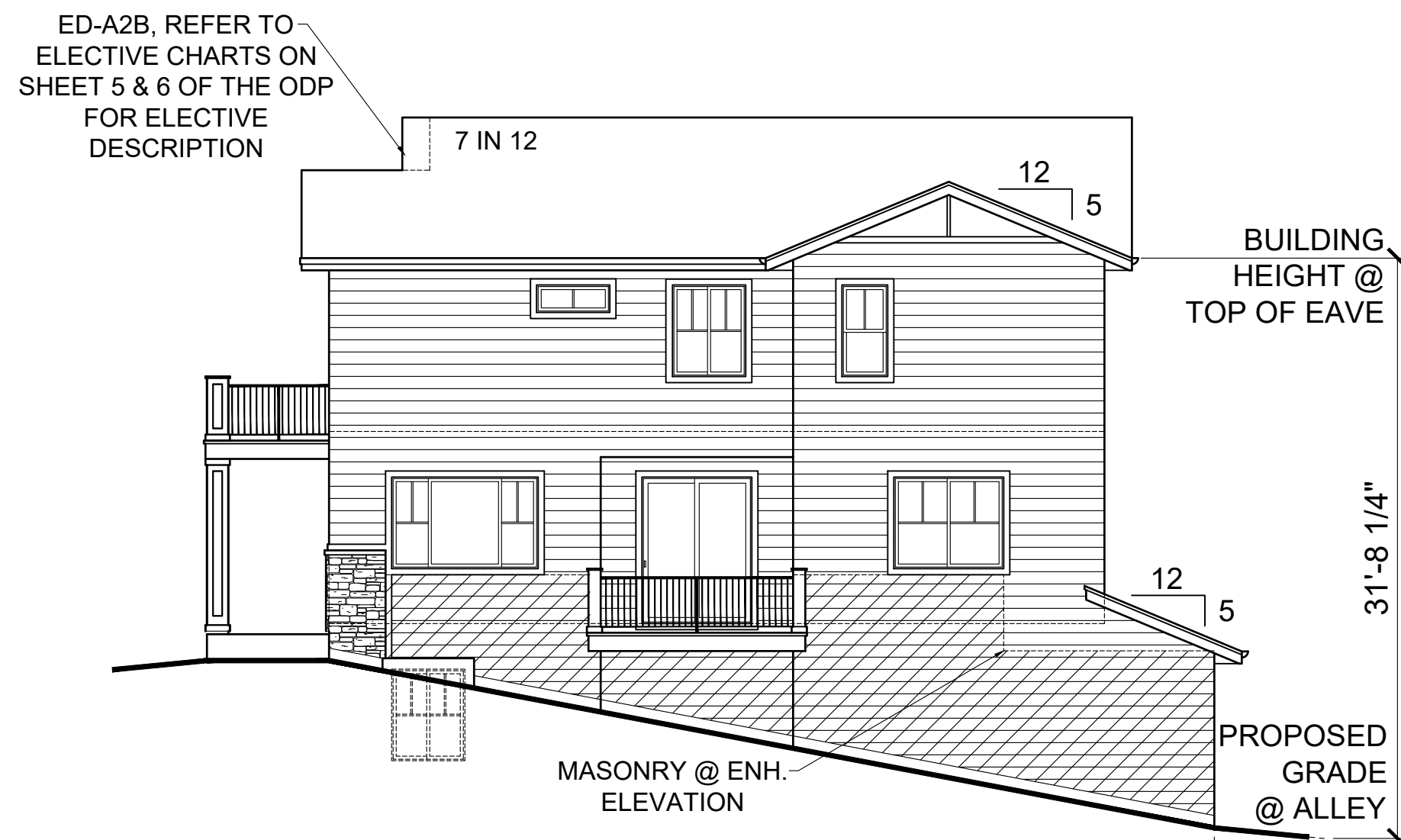
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PLAN 4 ELEVATION 'C'



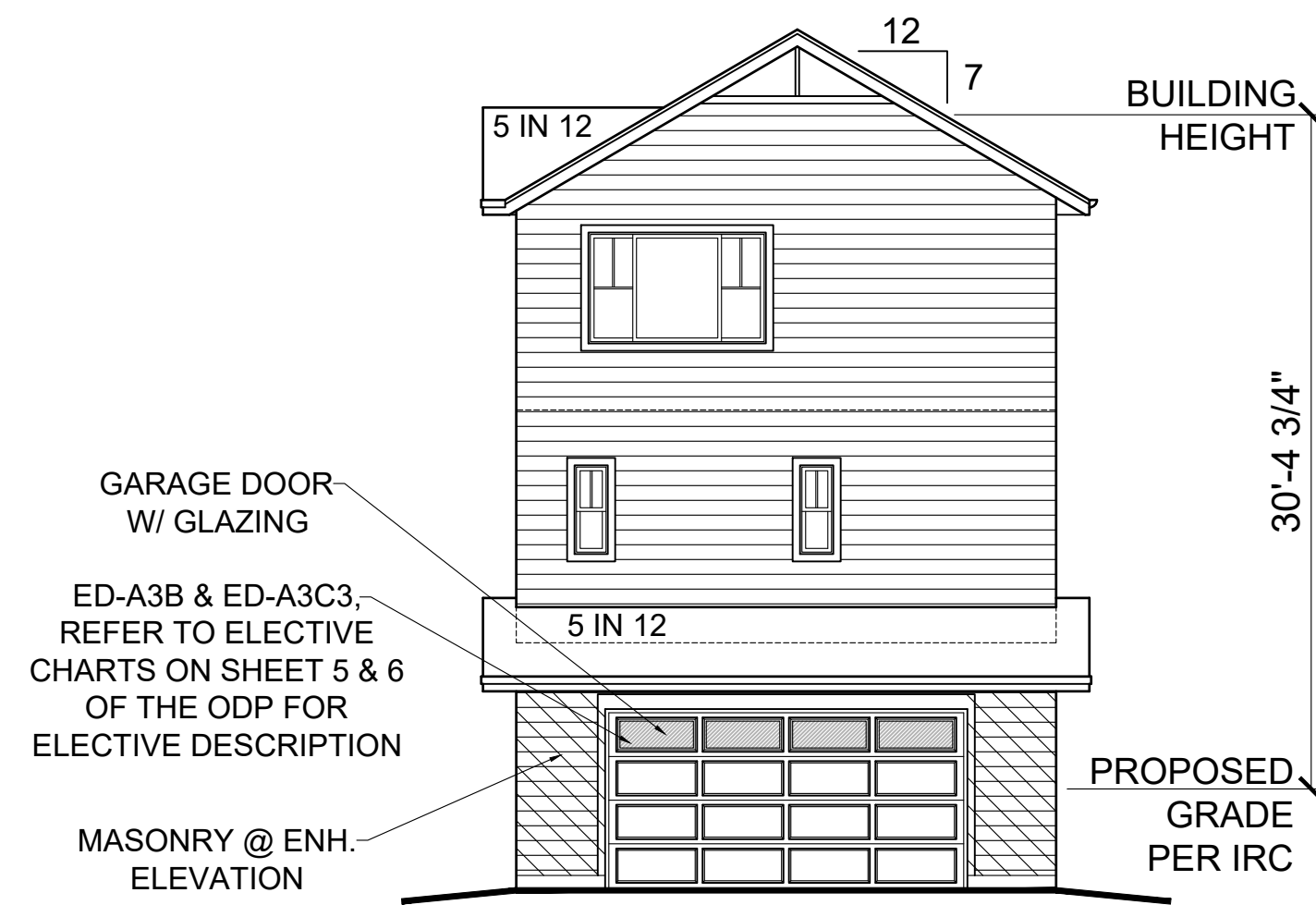
PLAN 4 ELEVATION 'C' - LEFT
33% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



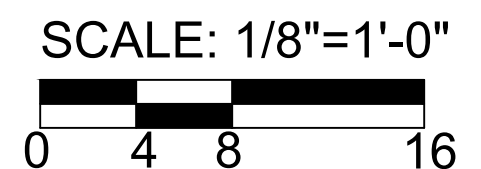
PLAN 4 ELEVATION 'C' - FRONT
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - RIGHT
33% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - REAR
SCALE: 1/8" = 1'-0"



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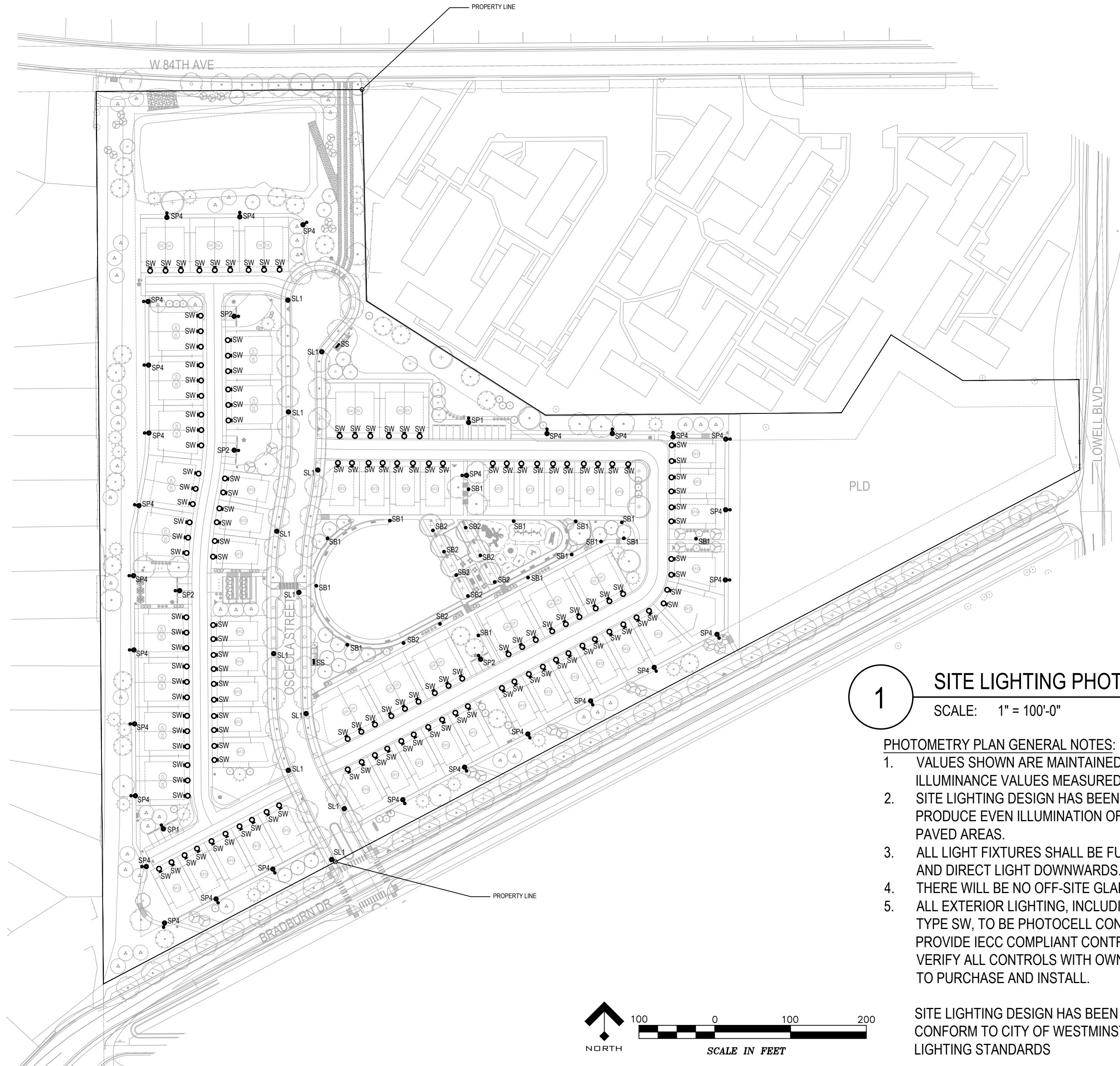
STUDIO LIGHTING
 63 SUNSET DR.
 BAILEY, CO 80421
 303.242.1572

UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

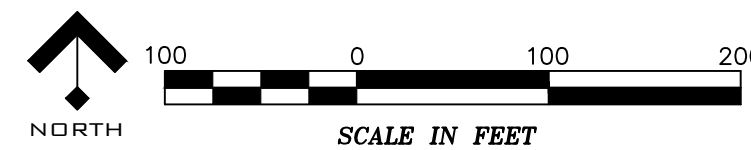


1 SITE LIGHTING PHOTOMETRIC
 SCALE: 1" = 100'-0"

PHOTOMETRY PLAN GENERAL NOTES:

1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
4. THERE WILL BE NO OFF-SITE GLARE ALLOWED.
5. ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS



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A PLANNED UNIT DEVELOPMENT
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STUDIO LIGHTNING
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BAILEY, CO 80421
303.242.1572

UPLANDS

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OFFICIAL DEVELOPMENT PLAN
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PHOTOMETRIC

1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 60'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

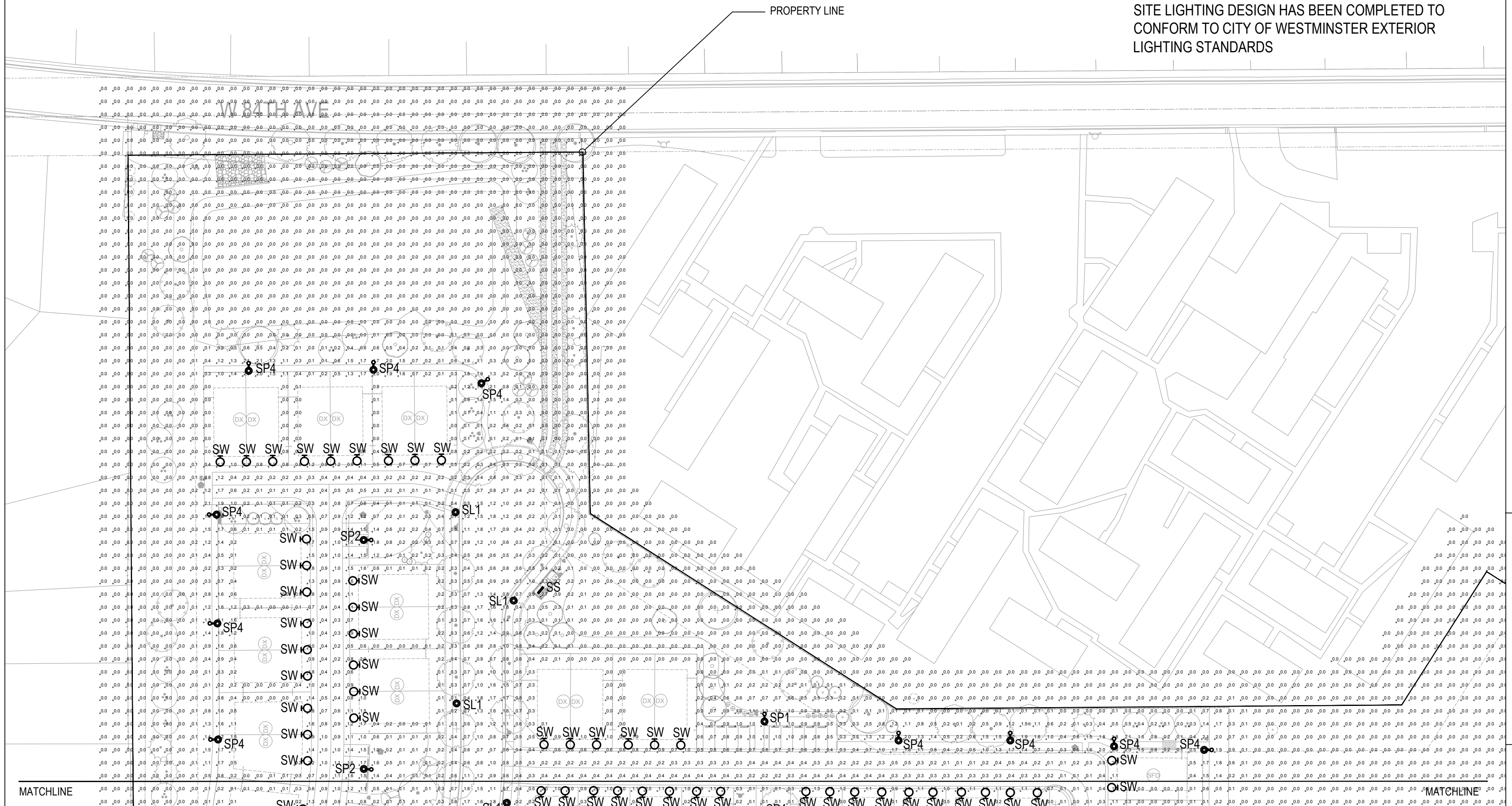
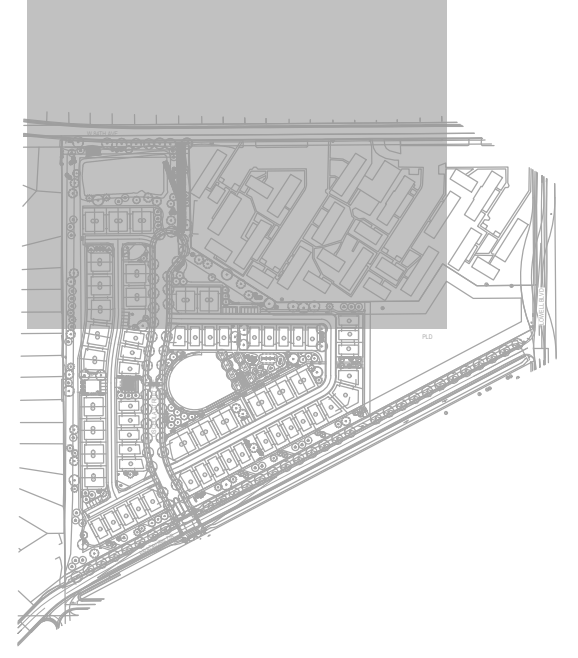
SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS



LIGHTING CALCULATION STATISTICS SUMMARY:

	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	4.8fc	0.0fc	NA	NA
OSCEOLA STREET (LOCAL):	1.1fc	1.8fc	0.3fc	6:1	3.7:1

2 KEY MAP
SCALE: NTS



MATCHLINE

MATCHLINE

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 86 OF 87



STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

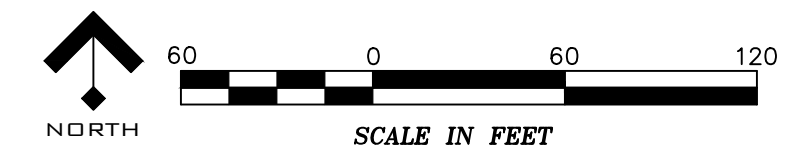
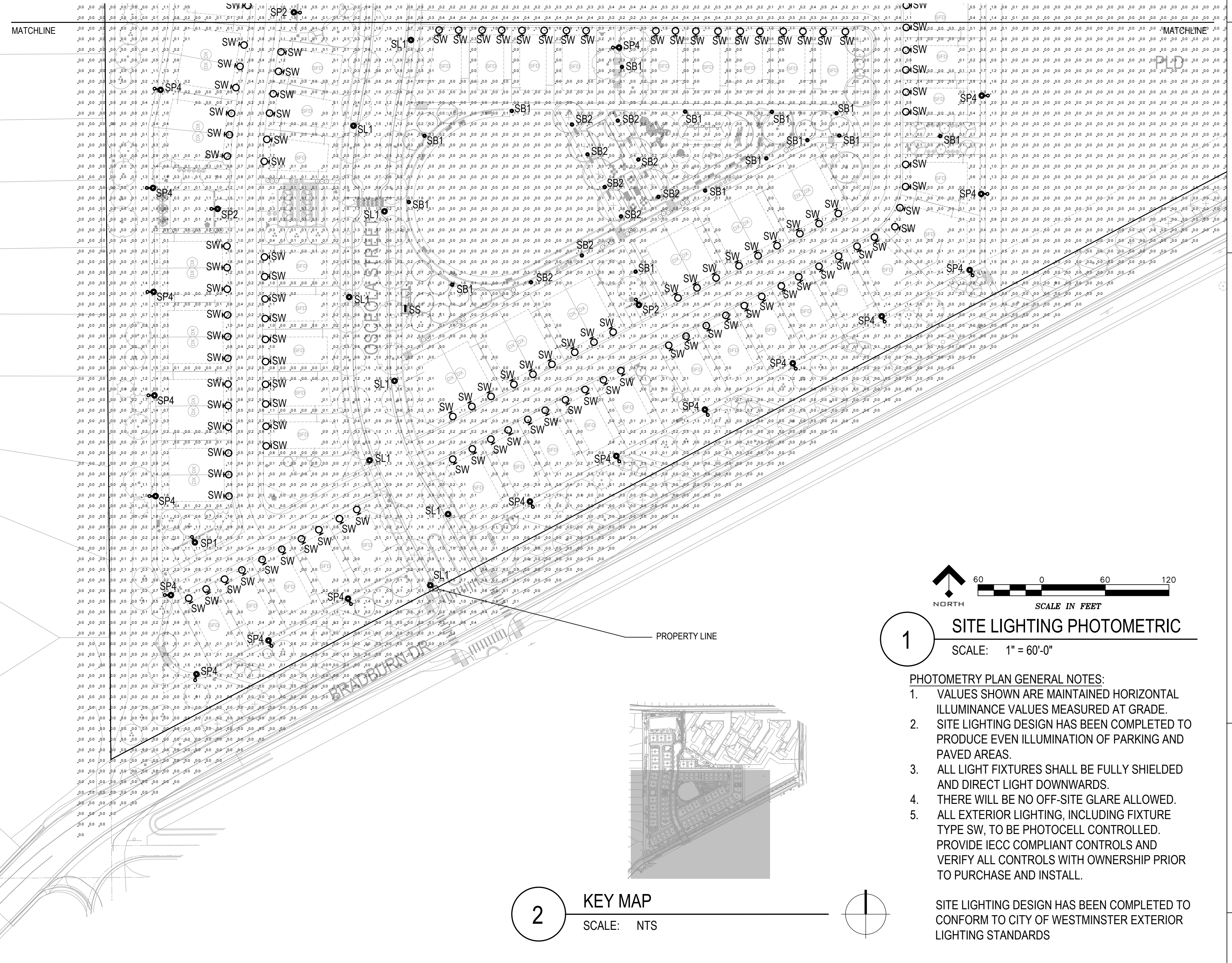
UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

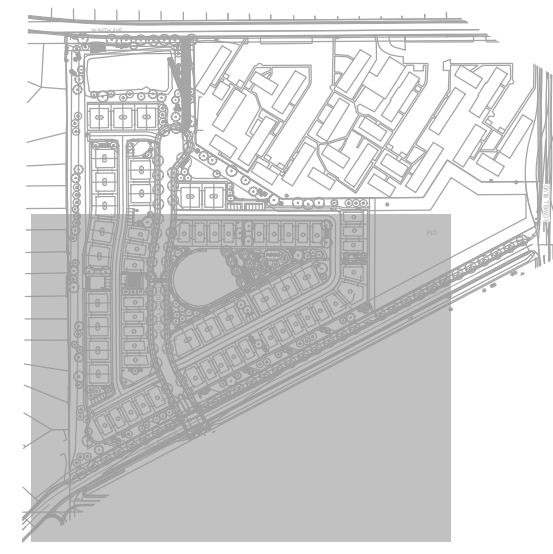


1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 60'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

2 KEY MAP
SCALE: NTS



OFFICIAL DEVELOPMENT PLAN PREPARED: 01.26.2023	REVISIONS
SUB-02: 04.13.23	
SUB-03: 06.07.23	

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 2 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 87 OF 87



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 63 SUNSET DR.
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UPLANDS

DATE: 06.07.2023

UPLANDS FILING NO. 2 BLOCK 1

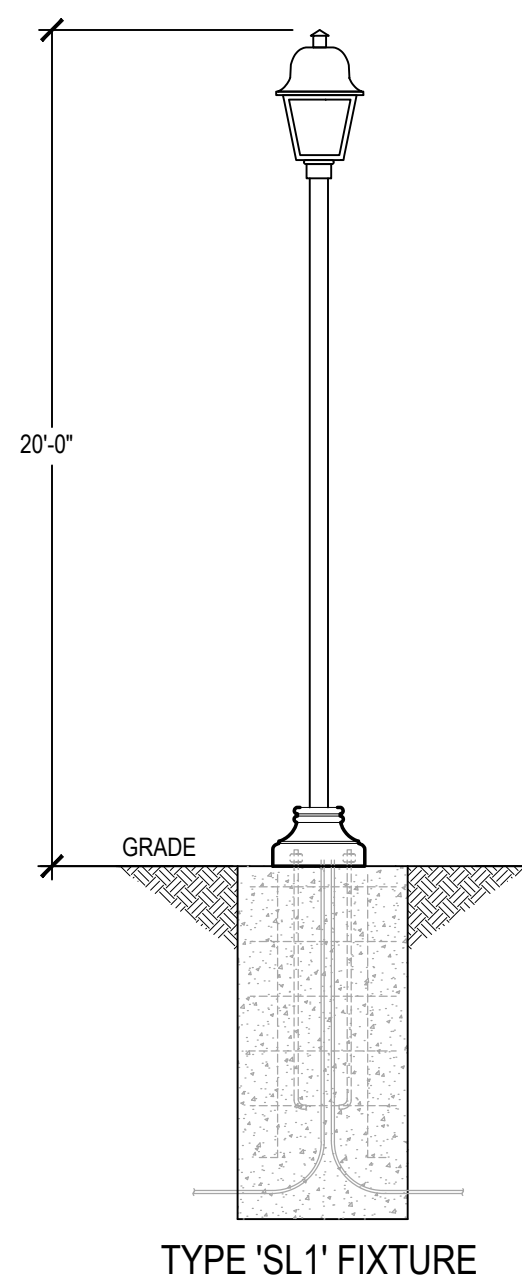
**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 01.26.2023

REVISIONS

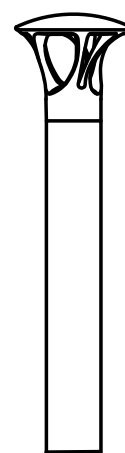
SUB-02: 04.13.23

SUB-03: 06.07.23

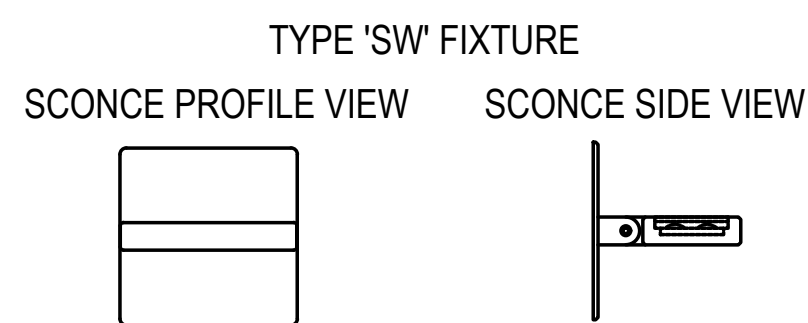


TYPE 'SL1' FIXTURE

TYPE 'SB1' & 'SB2' FIXTURES



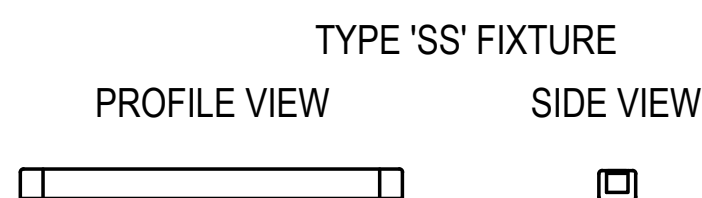
LUMINAIRE SCHEDULE									
Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	SHIELDING
☉	SB1	BOLLARD WALKWAYS	3'-0" AFG	BLACK	INVUE ABB-B1-LED-36-D1-A-BK	LED	1.00	11W	FULL CUTOFF
☉	SB2	BOLLARD WALKWAYS	3'-0" AFG	BLACK	INVUE ABB-B1-LED-36-D1-S-BK	LED	1.00	16W	FULL CUTOFF
☉	SL1	STREETLIGHT LOCAL STREETS	20'-0" AFG	BLACK	GE EPST-02-06-B-40-X-A- BLCK	LED	0.70	54W	FULL CUTOFF
⊙	SP1	SITE POLE PARKING LOTS	20'-0" AFG	BLACK	INVUE EMM-E02-LED-E1-T3-SR- SN-BK-7030-VA6109	LED	1.00	52W	FULL CUTOFF
⊙	SP2	SITE POLE PARKING LOTS	20'-0" AFG	BLACK	INVUE EMM-E02-LED-E1-T4-SR- SN-BK-7030-VA6109	LED	1.00	52W	FULL CUTOFF
⊙	SP4	SITE POLE WALKWAYS	12'-0" AFG	BLACK	INVUE EMM-E01-LED-E1-T2-SR- SN-BK-7030-VA6109	LED	1.00	25W	FULL CUTOFF
▬	SS	SOLAR STRIP LIGHT MAIL KIOSKS	10'-0" AFG	WHITE	SOLAR PATH SP-XL-A-1-X-12W-3-30K- X-WH-X	LED	1.00	12W	FULL CUTOFF
⊙	SW	WALL SCONCE ENTRIES	8'-0" AFG	BLACK	LUMIERE 303-W1-LEDB1-3000- UNV-T4-DIM10-BK	LED	1.00	8.5W	FULL CUTOFF



TYPE 'SW' FIXTURE

SCONCE PROFILE VIEW

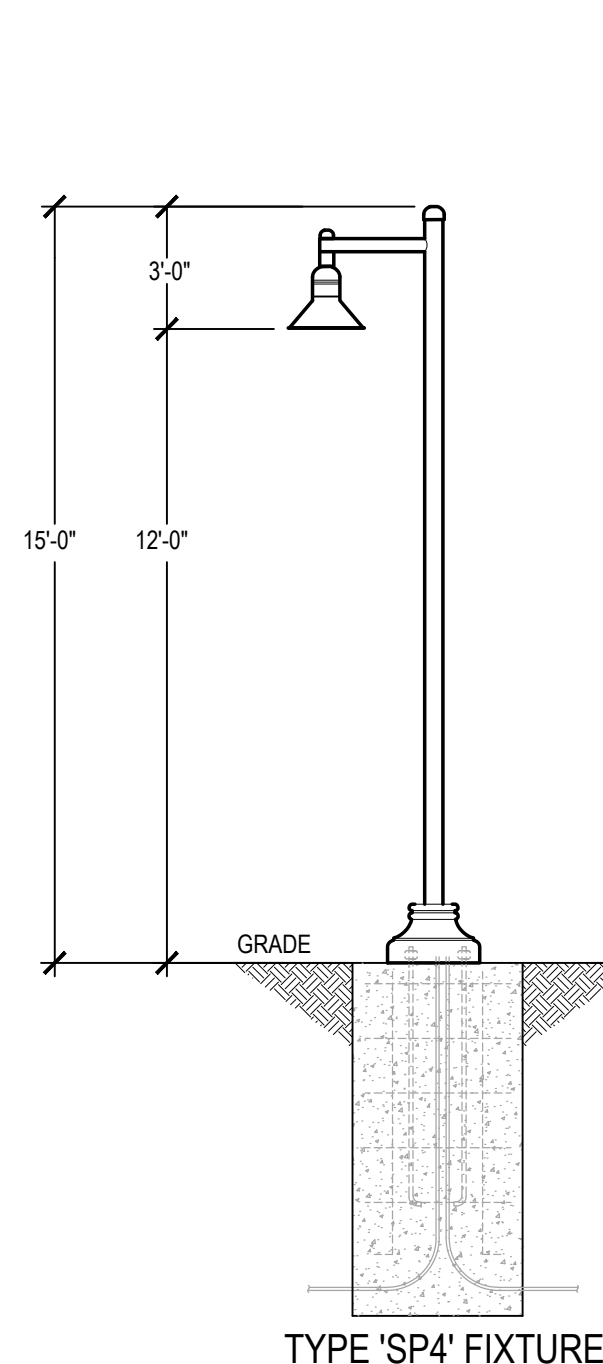
SCONCE SIDE VIEW



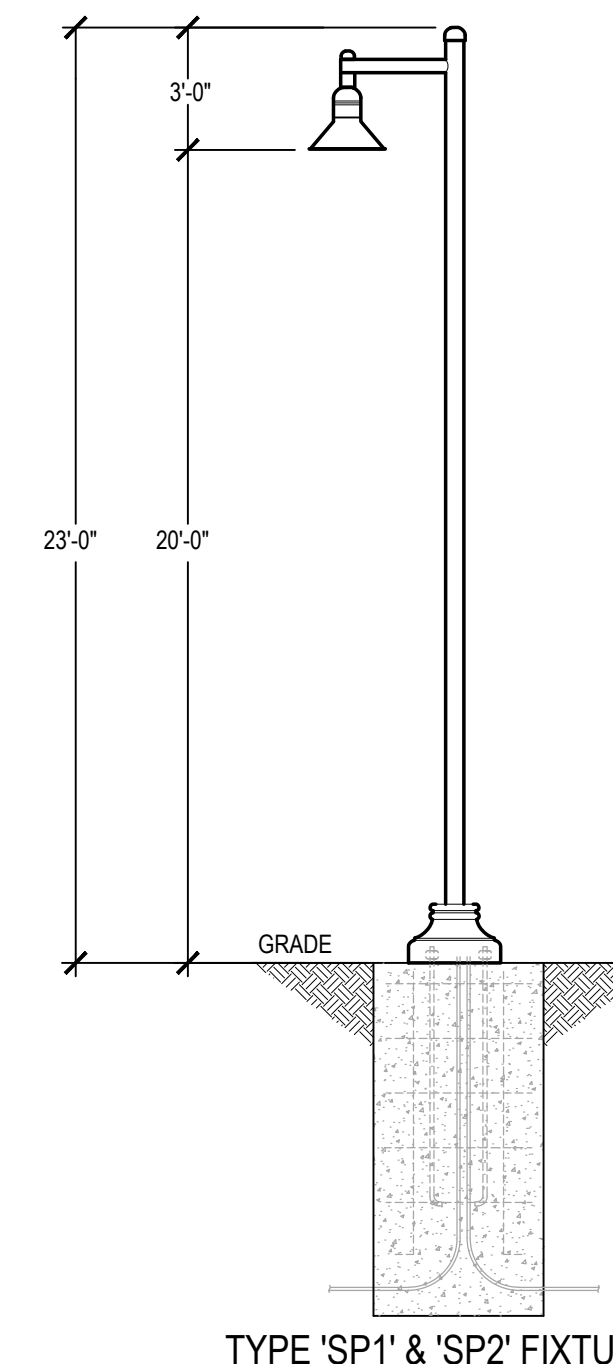
TYPE 'SS' FIXTURE

PROFILE VIEW

SIDE VIEW



TYPE 'SP4' FIXTURE



TYPE 'SP1' & 'SP2' FIXTURES



UPLANDS

APPLICATION FOR OFFICIAL DEVELOPMENT PLAN

**UPLANDS FILING NO. 2, BLOCK 1
(PLANNING AREA B(1))**

Detailed Summary of Conformance with Standards for Approval

City of Westminster Planning Commission and City Council
July 25, 2023 and September 11, 2023

OFFICIAL DEVELOPMENT PLAN

[Seeking approval of an Official Development Plan for Uplands Filing No. 2, Block 1 (Uplands Planning Area B(1))]

Section 11-5-15, W.M.C. sets forth the applicable standards that the City Council must consider when reviewing an application for approval of an Official Development Plan. This summary addresses how the proposed Official Development Plan for Uplands Filing No. 2, Block 1 (Uplands Planning Area B(1)) meets these standards of approval.

1. Section 11-5-15(A)(1), W.M.C. provides the following condition of approval: *“The plan is in conformance with all City Codes, ordinances, and policies.”*

The proposed Official Development Plan (ODP) meets this standard because it is in conformance with all City Codes, ordinances and policies, including the 2013 Comprehensive Plan (as Amended in 2015), the 2040 Comprehensive Plan, the 2017 Housing Needs assessment and the WMC Title XI Land Development and Growth Procedures, except as noted and justified in 11-4-15(A)(4) below. Please find detailed explanations below of how the proposed ODP is in conformance with each of the following:

- 2013 Comprehensive Plan (As Amended in 2015) – the proposed ODP is consistent with the vision, policies and intent of the 2013 Comprehensive Plan, as Amended in 2015 (the ‘2013 Comp Plan’).
 - Vision and Guiding Principles – the 2013 Comp Plan includes an overall vision and guiding principles to provide a foundation for development in Westminster, including the following specific principles listed below:

- Comprehensive, Integrated Parks and Open Space System

The proposed ODP is in compliance with this guiding principle because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space, Public Land Dedication (PLD), preservation of View Corridors as well as the City’s general goals of a great and connected trail system. The proposed ODP includes an 8% publicly accessible private park, provides 2.376 acres of public land dedication at the northwest corner of Lowell Boulevard and Bradburn Drive, preserves the View Corridor to the south of Bradburn and provides the sidewalk and trail network outlined in the PDP.

- Balanced Housing Mix

The proposed ODP is in compliance with this guiding principle because it complies with the Uplands PDP. The PDP includes a principle that Uplands include a range of complementary uses and intensities, providing diverse housing types and sizes to meet the individual character of each parcel and its context. The proposed ODP provides for-sale attached and detached homes that are designed to meet the individual character of the site as well as create a transition in density from the single-family detached homes to the north and west to the multi-family homes to the northeast.

- Environmental Stewardship and Water Resource Management Program

The proposed ODP is in compliance with this guiding principle because it complies with the sustainability requirements outlined in the PDP. The PDP requires all SFD homes comply with EnergyStar and WaterSense, all SFD and SFA homes feature Level 2 EV car charging in the garage and all SFD homes with traditional roofs be designed as ‘solar ready’. All three of these requirements are met with the proposed ODP, along with SFA homes complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering approximately 7% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape

regulations. All tree lawns consist of low water use shrub material and native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

o Land Use Goals and Policies

- LU-G-7 – Provide opportunities for a range of housing types and affordability to accommodate all incomes, lifestyle and age groups within the City.

The proposed ODP is in compliance with this goal because it complies with the Uplands PDP, which provides a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area B(1), the proposed ODP provides a mix of single-family attached and single-family detached homes, within the limits defined in the PDP.

- LU-P-1 – Ensure land uses are consistent with the Comprehensive Plan Land Use Diagram in Figure 2-2 and land use classifications in Section 2.2.

The proposed ODP is in compliance with this policy because it complies with the Uplands PDP, which establishes densities and land use classifications in compliance with the 2013 Comp Plan. The 2013 Comprehensive Plan designates the planning area as R-5 Residential, which is intended to provides single family residences (detached and attached), duplexes, patio homes, townhomes and condominiums.

	2013 Comp Plan	Uplands PDP	PA-B(1) ODP
Allowed Uses	SFD SFA Duplexes Patio Homes Townhomes Condominiums	SFD SFA	SFD SFA (paired homes)

- LU-P-3 – Ensure that new development is consistent with minimum and maximum intensities and densities for development. Residential densities are calculated using the gross acreage of the site, excluding land area within 100-year flood plains.

The proposed ODP is in compliance with this policy because it complies with the Uplands PDP, which establishes densities and land use classifications in compliance with the 2013 Comp Plan. The 2013 Comprehensive Plan designates the planning area as R-5 Residential, which allows up to 5.0 dwelling units per gross acre.

	2013 Comp Plan	Uplands PDP	PA-B(1) ODP
Maximum Density	5.0 du/ac	5.0 du/ac	4.97 du/ac

- LU-P-4 – Ensure that adequate infrastructure and public services are available for new development. Evaluate the impact of new development to the City’s future water supply, considering land use, intensity and proposed conservation measures.

The proposed ODP is in compliance with this policy because it complies with the Uplands PDP (and associated Master Utility Study and Phase I Drainage Report), which established the infrastructure and public services needed for development. The proposed ODP provides the required improvements (either within this ODP or the master infrastructure CDs currently in City review). These improvements include:

- Strengthening and enhancing the existing water network
- Strengthening and enhancing the existing sanitary sewer network
- Providing sufficient drainage improvements to route, treat and attenuate stormwater run-off from this neighborhood and adjacent land. Additional drainage improvements are provided, reducing the amount of runoff seen in the existing condition.

○ Transportation and Circulation Goals and Policies

- T-P-8 – Require new development to provide traffic improvements necessary to accommodate trips generated by the project without significantly reducing existing levels of service on affected roadways.

The proposed ODP is in compliance with this policy because it generally complies with the Uplands PDP and Master Traffic Impact Study, which established the street sections and associated improvements needed for development. The proposed ODP provides the required improvements (either within this ODP or the master infrastructure CDs currently in City review). These improvements include:

- Additional vehicle, parking and bike lanes to existing streets
- Creation of new streets / revision to existing intersections for a more functional overall transportation network
- Creation of new sidewalks, trail connections and tree lawns
- Existing street capacities are improved and levels of services have been analyzed and meet the City’s requirements and acceptance
- Disconnection of LaPlace Court from Bradburn Drive, per guidance from City staff, due to the existing intersection design not meeting current intersection safety specifications.

- T-P-9 – Complete and enhance the pedestrian network with an interconnected system of walkways and trails, continuous sidewalks on both sides of the street and pedestrian crossings and connections between existing and new development.

The proposed ODP is in compliance with this policy because it generally complies with the Uplands PDP and Master Traffic Impact Study, which established the street sections and associated improvements needed for development. The proposed ODP includes the following trail and sidewalk improvements:

- Replacing the existing attached walk on West 84th Avenue along the B(1) frontage with a new 5-foot attached walk and tree lawn
 - Adding 8-foot walks and 11-foot tree lawns on the north and south sides of Bradburn Drive
 - Providing north/sidewalk connections between West 84th Avenue and Bradburn Drive through 5-foot walks and 6-foot tree lawns on the east and west sides of Osceola Street. These improvements transition to a mix of concrete and crusher fine walks that connect the cul-de-sac to West 84th Avenue within the fire access easement
 - Adding internal sidewalk connections:
 - A north/south walk along the homes fronting the west property line and creating a loop between Bradburn and the north end of Osceola Street
 - An east/west walk connecting the western homes to the publicly accessible private park, including enhanced pavers and pedestrian bump-outs across Osceola Street
 - A looped network within the publicly accessible private park
 - Two east/west walks connecting Osceola Street to the public land dedication (one along the northeast property line and one just north of Bradburn Drive)
 - Minor internal connections
 - Although not part of this ODP, walk improvements are proposed along Lowell Boulevard, which are currently under review as part of the overall Uplands infrastructure package, completing the pedestrian circulation within/around this proposed neighborhood.
- City Identity and Design
 - CID-G-11 – Encourage sustainable design practices in all aspects of physical planning in the city, with a focus on site, landscape and building design.

The proposed ODP is in compliance with this goal because it complies with the sustainability requirements outlined in the PDP. The PDP requires all SFD homes comply with EnergyStar and WaterSense, all SFD and SFA homes feature Level 2 EV car charging in the garage and all SFD homes with traditional roofs be designed as 'solar ready'. All three of these requirements are met with the proposed ODP, along with SFA homes complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering approximately 7% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City's landscape regulations. All tree lawns consist of low water use shrub material and native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

- CID-P-20 – Ensure that designated view corridors are integrated into planning for new development. Preservation of view corridors may require dedication of land, building or upper story setbacks and modified building orientation and placement.

The proposed ODP is in compliance with this policy because it is consistent with the view preservation design standards within the Uplands PDP, which state that view corridors identified in the Comprehensive Plan shall be preserved and that the main intent is to preserve the views that can be seen from public spaces. The neighborhood plan and building designs comply with the view corridor in Planning Area B(2), as shown in the included before/after visual renderings.

- Parks, Recreation, Libraries and Open Space

- PRLO-P-1 – As new development occurs, evaluate opportunities for development of new parks, facilities and programs to ensure that addition of new population in the city does not adversely impact the city's existing quality and level of parks, recreation and library services.

The proposed ODP is in compliance with this policy because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space, Public Land Dedication (PLD), preservation of View Corridors as well as the City's general goals of a great and connected trail system. The proposed ODP includes an 8% publicly accessible private park, provides 2.376 acres of public land dedication at the northwest corner of Lowell Boulevard and Bradburn Drive, preserves the View Corridor to the south of Bradburn and provides the sidewalk and trail network outlined in the PDP.

- PRLO-P-4 – Ensure that all new residential development continues to contribute to the provision and maintenance of adequate parks, recreation facilities and open space to meet the needs of its new residents.

The proposed ODP is in compliance with this policy because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space, Public Land Dedication (PLD), preservation of View Corridors as

well as the City's general goals of a great and connected trail system. The proposed ODP includes an 8% publicly accessible private park, provides 2.376 acres of public land dedication at the northwest corner of Lowell Boulevard and Bradburn Drive, preserves the View Corridor to the south of Bradburn and provides the sidewalk and trail network outlined in the PDP.

- Public Utilities and Services

- PU-P-2 – Ensure that new development does not result in water demand that exceeds the city's existing water supply. Proposed developments that exceed the water demand associated with the property's Comprehensive Plan land use designation will be evaluated on a case-by-case basis to ensure the city's water supply is not impacted.

The proposed ODP is in compliance with this policy, because it complies with the Uplands PDP (and associated Master Utility Study and Phase I Drainage Report), which established the infrastructure and public services needed for development. During the PDP review, Water Supply had been budgeted for this project (at an even higher density) since the 2013 Comprehensive Plan was adopted. At time of initial application in 2018, the City provided the proposed Uplands project with a water budget of 778 Acre Feet. The initial water usage studies as reviewed by City engineering staff show that the Uplands project as designed will beat that water budget by roughly 18%.

- PU-P-15 – Require new development to provide any needed storm drains and drainage facility improvements or expansions to the City's drainage system.

The proposed ODP is in compliance with this policy because it complies with the Uplands PDP (and associated Phase I Drainage Report), which established the infrastructure and public services needed for development. The proposed ODP provides the required improvements (either within this ODP or the master infrastructure CDs currently in City review). These improvements include providing sufficient drainage improvements to route, treat and attenuate stormwater run-off from this neighborhood and adjacent land. Additional drainage improvements are provided, reducing the amount of runoff seen in the existing condition.

- 2040 Comprehensive Plan – the proposed ODP is consistent with the vision, cornerstones, goals and policies of the 2040 Comprehensive Plan (the '2040 Comp Plan').

- Cornerstones

- Healthy Places – Westminster has a built environment that embraces the outdoors through a comprehensive, integrated parks and open space system.

The proposed ODP is in compliance with this cornerstone because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space, Public Land Dedication (PLD), preservation of View Corridors as well as the City's general goals of a great and connected trail system. The proposed ODP includes an 8% publicly accessible private park, provides 2.376

acres of public land dedication at the northwest corner of Lowell Boulevard and Bradburn Drive, preserves the View Corridor to the south of Bradburn and provides the sidewalk and trail network outlined in the PDP.

- Great Neighborhoods – Westminster has a strong sense of local pride in our well—designed and attractive neighborhoods.

The proposed ODP is in compliance with cornerstone because it complies with the Uplands PDP. The PDP includes a principle that Uplands include a range of complementary uses and intensities, providing diverse housing types and sizes to meet the individual character of each parcel and its context. The proposed ODP provides for-sale attached and detached homes that are designed to meet the individual character of the site as well as create a transition in density from the single-family detached homes to the north and west to the multi-family homes to the northeast. The ODP further complies with this cornerstone with a neighborhood plan that is designed around a publicly accessible private park and adjacent public land dedication with pedestrian-friendly building designs that activate the proposed circulation improvements.

- Great Neighborhoods – Westminster provides a balanced mix of housing opportunities, for a range of incomes, age groups, and lifestyle choices.

The proposed ODP is in compliance with this cornerstone because it complies with the Uplands PDP, which provides a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area B(1), the proposed ODP provides a mix of single-family attached and single-family detached homes which are attainable by design, within the limits defined in the PDP.

- Managed Growth – Westminster responsibly manages water and natural resources, prioritizing environmental stewardship and understanding feasibility of infrastructure and resource availability.

The proposed ODP is in compliance with this cornerstone, because it complies with the Uplands PDP (and associated Master Utility Study and Phase I Drainage Report), which established the infrastructure and public services needed for development. During the PDP review, Water Supply had been budgeted for this project (at an even higher density) since the 2013 Comprehensive Plan was adopted. At time of initial application in 2018, the City provided the proposed Uplands project with a water budget of 778 Acre Feet. The initial water usage studies as reviewed by City engineering staff show that the Uplands project as designed will beat that water budget by roughly 18%.

Additionally, the proposed ODP complies with the sustainability requirements outlined in the PDP. The PDP requires all SFD homes comply with EnergyStar and WaterSense, all SFD and SFA homes feature Level 2 EV car charging in the garage and all SFD homes with traditional roofs be designed as 'solar ready'. All three of these requirements are met with the proposed ODP, along with SFA homes complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering approximately 7% of the neighborhood (limited to active play areas), compared to the 20% coverage

allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material and native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

○ Utility and Resources Goals and Policies

- Goal UR-4 – Protect the community from adverse flooding and pollution impacts of runoff with efficient and progressive stormwater manager practices.

The proposed ODP is in compliance with this goal because it complies with the Uplands PDP (and associated Phase I Drainage Report), which established the infrastructure and public services needed for development. The proposed ODP provides the required improvements (either within this ODP or the master infrastructure CDs currently in City review). These improvements include providing sufficient drainage improvements to route, treat and attenuate stormwater run-off from this neighborhood and adjacent land. Additional drainage improvements are provided, reducing the amount of runoff seen in the existing condition.

○ Land Use and Development Goals and Policies

- Goal LU-1 – Achieve a balance of uses within the City, including employment, residential, cultural, destination attractions, and retail, as well as a full range of amenities necessary to support a vibrant and resilient community.
 - 1.1 – Ensure land uses and zoning districts are consistent with the Land Use Diagram in Map 3-2 and land use character types in Section 3.2.

The proposed ODP is in compliance with this goal because it complies with the established densities and land use classifications found in the 2040 Comp Plan. The 2040 Comprehensive Plan designates the planning area as Residential Low Density, which allows up to 5.0 dwelling units per gross acre. This designation provides primarily for single-family detached residences and paired homes. The proposed ODP further complies with this goal through the creation of a publicly accessible private park and dedication of adjacent public land, which provides a local amenity to help support a vibrant and resilient community.

	2040 Comp Plan	Uplands PDP	PA-B(1) ODP
Maximum Density	5.0 du/ac	5.0 du/ac	4.97 du/ac
Primary Uses	SFD Paired Homes	SFD SFA	SFD SFA (paired homes)

- Goal LU-6 – Encourage sustainable design practices and construction in all aspects of physical planning in the city, with a focus on site, landscape, and building design.

The proposed ODP complies with this goal because it complies with the sustainability requirements outlined in the PDP. The PDP requires all SFD homes

comply with EnergyStar and WaterSense, all SFD and SFA homes feature Level 2 EV car charging in the garage and all SFD homes with traditional roofs be designed as ‘solar ready’. All three of these requirements are met with the proposed ODP, along with SFA homes complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering approximately 7% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material and native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

- Goal LU-9 – Maintain the city’s high-quality design and development character.
 - 9.1 – Promote excellence in site planning, architecture, and the design of landscaping, lighting and signage in all types of development by means of design standards for each type of use.

The proposed ODP complies with this goal because it complies with the guiding principles established in the Uplands PDP and outlined in below in 11-5-5(A)(3).

Additionally, the proposed ODP complies with the Residential Design Standards. WMC 11-7-4(d) references these standards, noting they are ‘intended to establish quality appearance, compatibility of character, variety of design, and enhanced community values. In addition to minimum criteria, electives are also associated with points, of which a minimum number must be chosen to further enhance sound residential planning, architectural quality and landscape design.’ The proposed plan meets the minimum criteria, except as noted and justified in 11-4-15(A)(4) below. Finally, the proposed plan exceeds the minimum elective points to further enhance sound residential planning.

- Transportation, Mobility, and Connections Goals and Policies

- 1.4 – Create and enhance a safe and accessible pedestrian network that ensures walkability and connectivity within the city and to adjacent communities.

The proposed ODP is in compliance with this goal because it generally complies with the Uplands PDP and Master Traffic Impact Study, which established the street sections and associated improvements needed for development. The proposed ODP includes the following trail and sidewalk improvements:

- Replacing the existing attached walk on West 84th Avenue along the B(1) frontage with a new 5-foot attached walk and tree lawn
- Adding 8-foot walks and 11-foot tree lawns on the north and south sides of Bradburn Drive
- Providing north/sidewalk connections between West 84th Avenue and Bradburn Drive through 5-foot walks and 6-foot tree lawns on the east and west sides of Osceola Street. These improvements transition to a mix

of concrete and crusher fine walks that connect the cul-de-sac to West 84th Avenue within the fire access easement

- Adding internal sidewalk connections:
 - A north/south walk along the homes fronting the west property line and creating a loop between Bradburn and the north end of Osceola Street
 - An east/west walk connecting the western homes to the publicly accessible private park, including enhanced pavers and pedestrian bump-outs across Osceola Street
 - A looped network within the publicly accessible private park
 - Two east/west walks connecting Osceola Street to the public land dedication (one along the northeast property line and one just north of Bradburn Drive)
 - Minor internal connections
- Health, Wellness, and Community Services
 - 1.2 – Encourage design options that allow community gathering spaces in central locations in support of the Neighborhood Unit concept that are capable of supporting cultural and recreation activities appropriate to the area.
 - 2.1 – Promote the development of park facilities that encourage pedestrian and bicycle access, provide a range of services and meets the needs of a variety of all ages and abilities.
 - 4.1 – Provide easy and safe access to the city’s open space and trail network.

The proposed ODP is in compliance with these goals because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space, Public Land Dedication (PLD), preservation of View Corridors as well as the City’s general goals of a great and connected trail system. The proposed ODP includes an 8% publicly accessible private park, provides 2.376 acres of public land dedication at the northwest corner of Lowell Boulevard and Bradburn Drive, preserves the View Corridor to the south of Bradburn and provides the sidewalk and trail network outlined in the PDP.

Further, the proposed ODP includes a park that is centrally located, has a flexible design layout to accommodate a variety of activities and is connected to the adjacent neighborhood and larger community through a variety of bike and pedestrian connections.

- Housing and Neighborhoods Goals and Policies

- 1.1 – Design new neighborhoods with an easily accessible focal point, such as a park or civic spaces that provides a unique identity and opportunities for community gathering.

The proposed ODP is in compliance with this goal because it includes a park that is centrally located, has a flexible design layout to accommodate a variety of activities and is connected to the adjacent neighborhood and larger community through a variety of bike and pedestrian connections.

- 3.1 – Continue to provide a variety of neighborhood types with a diversity of housing choices.
- 3.2 – Blend ‘missing middle’ housing types within other types of development to ensure neighborhoods that are resilient over time to demographic changes.
- 3.3 – Support diverse housing opportunities to serve a range of household sizes, compositions and needs.

The proposed ODP is in compliance with these goals because it complies with the Uplands PDP, which provides a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area B(1), the proposed ODP provides a mix of single-family attached and single-family detached homes, within the limits defined in the PDP.

- Goal HN-6 – Preserve views to the mountains, natural amenities and scenic skylines from the public realm.
 - 6.2 – Ensure views designated on Map 7-2 are integrated into planning for new development. This may include dedication of land, setbacks, height restrictions, modified building orientation or placement on a lot.

The proposed ODP is in compliance with this goal because it is consistent with the view preservation design standards within the Uplands PDP, which state that view corridors identified in the Comprehensive Plan shall be preserved and that the main intent is to preserve the views that can be seen from public spaces. The neighborhood plan and building designs comply with the view corridor in Planning Area B(2), as shown in the included before/after visual renderings.

- 2017 Housing Needs Assessment – the proposed ODP is consistent with the findings and recommendations of the 2017 Housing Needs Assessment.

- Demographics

- As of the date of this study, post-college aged millennials (ages 25-34) account for 16% of the City’s population and this demographic is projected to grow substantially. Since 2010, the influx of millennials has driven the regional rental market (as seen in the recent construction of apartment units in Downtown Westminster).
- “Accommodating a variety of housing choices and price points...will be important for the City’s success in attracting new residents, workers and employers.” (Source: Housing Needs Study, City of Westminster, 2017)

The proposed ODP is consistent with these findings because it complies with the Uplands PDP, which provides a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area B(1), the proposed ODP provides a mix of for sale single-family attached and single-family detached homes, within the limits defined in the PDP. The proposed homes achieve a more compact development pattern that creates homes that are more attainably priced than the larger lot developments that currently exist in Westminster.

○ Housing Profile and Affordability

- The study notes a 24% increase in income required to purchase a home at the median sales prices while the increase in median owner income was only 14%.
- “Coupled with a decline in inventory since 2005, the ability for residents in Westminster to become homeowners has dropped.” (Source: Housing Needs Study, City of Westminster, 2017)

The proposed ODP is consistent with these findings because it brings additional for sale homes at a density and housing type that is limited in the City’s existing housing stock. This helps two-fold – it creates a greater increase in supply while creating options for reducing the amount of land each homeowner needs to purchase, thereby lowering the overall relative cost.

○ Development Trends and Housing Stock

- The study references a recent market assessment, which projected the “need for 9,500 residential units between now and 2032 to accommodate projected population growth.” (Source: Housing Needs Study, City of Westminster, 2017)
- The existing Comprehensive Plan projects construction of 5,500 residential units on vacant land and redevelopment of underutilized land.
- The study states “to accommodate expected growth, the City’s residential unit distribution will need to shift slightly toward high density and mixed use residential, both rental and for sale...” (Source: Housing Needs Study, City of Westminster, 2017)

○ Recommendations

- The study suggests a two-pronged approach to help address one of the recommendations of the report – “increase the diversity of housing available for purchase”:
 - “add residential housing products and build community in older neighborhoods through infill” and
 - “enable greater diversity offered by new construction” (Source: Housing Needs Study, City of Westminster, 2017)

The proposed ODP supports and addresses these recommendations by establishing a neighborhood that adds residential housing products and enables greater diversity offered by new construction. As previously explained, the proposed plan includes a mix of single-family attached and single-family detached homes that are designed to meet the individual character of the site as well as create a transition in density from the single-family detached homes to the north and west to the multi-family homes to the northeast. They are laid out in a more compact development pattern that is more attainably priced than larger lot development that currently exists in Westminster.

The PDP also requires all SFD homes comply with EnergyStar and WaterSense, all SFD and SFA homes feature Level 2 EV car charging in the garage and all SFD homes with traditional roofs be designed as ‘solar ready’. All three of these requirements are met with the proposed ODP, along with SFA homes complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering approximately 7% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material and native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

- Title XI Land Development and Growth Procedures – the proposed ODP is consistent with the General Provisions of PUD Zone Districts.
 - 11-4-7(B) – PUD – Planned Unit Development District General Provisions – As described in the City Code, the PUD District “is intended to reflect maximum design freedom to make the best use of topography and land features and to permit the developer an opportunity to more fully utilize the physical characteristics of the site through the reduction of lot sizes and the absence of setback and bulk restrictions; to provide for diversification and flexibility in housing types, housing prices, and overall design; to encourage innovative development of smaller parcels of land that have been passed over; to encourage mixed-use developments, including uses such as residential, office, and commercial; and to encourage higher quality development than possible under traditional standard zoning regulations”. The PUD general provisions in the City Code additionally state that “it is the intent that property will be developed with a unified design providing continuity between the various elements”.

The proposed ODP complies with the framework established in the PDP, which utilizes the physical characteristics of the site to provide diversification and flexibility in housing types, housing prices and overall design. The PDP created a unified design that provides continuity between all five parcels while reflecting the unique characteristics of each parcel.

The proposed ODP depicts the development standards found in the Westminster Municipal Code, the approved PDP, the Design Standards for Single-Family Attached and the Design Standards for Single-Family Detached, except as noted and justified in 11-4-15(A)(4) below. The exceptions align with the intent of the PUD District and are justified through that intent as well as adopted City plans and policies.

2. Section 11-5-15(A)(2), W.M.C. provides the following condition of approval: *“The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).”*

The proposed Official Development Plan meets this standard. As shown in the table below, the plan is in conformance with the approved Preliminary Development Plan.

	Uplands PDP	Uplands PA-B(1) ODP
Land Use	Residential (SFD alley-loaded, SFA alley-loaded)	Residential (SFD alley-loaded, SFA alley-loaded)
Maximum Unit Count, Type	82 maximum units (including maximum 68 SFD, 82 SFA)	82 proposed units (including 38 SFD, 44 SFA)
Access	Two allowed on Bradburn	As requested by City Staff, one access is proposed on Bradburn, secondary fire access is proposed at W 84 th Avenue
Public Land Dedication	Required at NW corner of Lowell Boulevard and Bradburn Drive	2.376 acres provided at NW corner of Lowell Boulevard and Bradburn Drive; plat dedicating this outlot and all other PLD outlots is currently under review with the City
Maximum Building Height	40-feet	32-feet, 2-inches
Private Parks	Minimum 4%, must be publicly accessible	8% provided with blanket public access easement
Neighborhood Structure	Intended to provide convenient routes to on-site destinations and links to the greater community and regional street and trail systems. Street system will discourage high-speed through traffic, while allowing bike and pedestrian shortcuts.	The proposed pedestrian circulation network provides missing and/or improved perimeter improvements (along W 84 th Avenue, Bradburn Drive and Lowell Boulevard) and internal improvements connecting existing and future residents to the public land dedication, the publicly accessible private park as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections. Street sections include on-street parking to slow traffic and enhanced paving / bump outs are provided at key

		pedestrian crossings along Osceola Street. Osceola Street terminates in a cul-de-ac to prevent cut through traffic.
Architectural Character	Uplands is a relatively dense infill neighborhood featuring a diverse mix of housing options on a variety of lot types. The goal of Uplands is to be a high quality, cohesive and diverse community featuring a mix of traditional and transitional architectural styles with a focus on natural materials and crafted textures and patterns.	The proposed SFD and SFA homes include a diverse mix of farmhouse, craftsman and transitional architecture styles. Each style meets the City’s anti-monotony criteria with purposeful roof forms / lines / profiles and distinctly different entry treatments utilizing a variety of materials. All homes have secondary exterior materials, gable details and decorative window trim on all four sides, meeting the City’s 360 architecture requirement.
Landscape Character	<p>Landscape character throughout the Uplands community will utilize xeric principles in accordance with City of Westminster regulations. Turf shall be limited and the use of native seed and/or wildflower mixes is encouraged where appropriate. Emphasis shall be put on providing ample pollinator habitats and corridors and utilizing a planting palette that is rooted in agriculture. The landscape design should be texturally rich and utilize creative interpretations of ag-inspired patterning throughout the landscape. Scenic views should be incorporated throughout the site where applicable.</p> <p>Edges and streetscapes within the Uplands community are designed to connect to the existing Westminster community with inviting trails, views, streetscape and permeable edges.</p>	<p>The landscape design for the proposed ODP utilizes xeric principles. Turf is limited to only those areas designated as active play areas. Tree lawns consist of native seed and xeriscape planting rather than traditional tree lawns. Pollinator corridors are woven through the plan along with trail connections. Minimum landscape requirements are exceeded within the proposed plan.</p> <p>The proposed plant palette utilizes low water use species and plants that are rooted in agriculture with orchard-like fruit trees and pollinators.</p> <p>The proposed landscape complies with the view corridor in Planning Area B(2), as shown in the included before/after visual renderings.</p> <p>Streetscapes are designed with permeable edges through a connected system of sidewalks</p>

		and trails and plant material that is open and inviting.
Sustainability	<p>All SFD homes will comply with Energy Star and WaterSense.</p> <p>All SFD and SFA homes with garages will feature Level 2 EV car charging in the garage.</p> <p>All SFD homes with traditional roofs will be designed as ‘solar-ready’ for the future installation of rooftop photovoltaic systems.</p>	<p>All SFD and SFA homes will comply with Energy Star and WaterSense.</p> <p>All SFD and SFA homes with garages will feature Level 2 EV car charging in the garage, as noted on the architectural sheets.</p> <p>All SFD homes with traditional roofs will be designed as ‘solar-ready’ for the future installation of rooftop photovoltaic systems, as noted on the architectural sheets.</p>
Perimeter Setbacks	Vary, see PDP sheet 8.	All perimeter building and parking setbacks are met, see ODP Sheet 2.
Street Sections	Vary, see PDP sheets 21-26.	Generally in conformance, as described in 11-5-15(A)(13) below.
Phasing Plan	Lists various public improvements required with development of PA-B(1).	Generally in conformance, as described in 11-5-15(A)(13) below and 11-5-15(A)(16) below.

3. Section 11-5-15(A)(3), W.M.C. provides the following condition of approval: *“The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.”*

The proposed ODP meets this standard because it is in conformance with the approved PDP, the Design Standards for Single-Family Attached and the Design Standards for Single-Family Detached, except as noted and justified in 11-4-15(A)(4) below. The plan also exhibits the application of sound, creative, innovative and efficient planning and design principles.

Uplands is guided by the following planning principles:

- Compact, walkable development with emphasis on connectivity between development parcels
- Preservation of key view corridors
- Perimeter setback considerations for adjacent properties and pedestrian landscape improvements
- Public land dedication and private park locations to complement proposed uses and road network
- A centrally located Village Center, which includes a mix of uses centered around the community’s feature park
- A range of complementary uses and intensities, providing diverse housing types and sizes to meet the individual character of each parcel and its context

The proposed ODP includes the following, in compliance with the above principles:

- A compact neighborhood that improves upon the walkability of the overall area, including connecting existing and future residents to the adjacent public land dedication, the publicly accessible private park as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections.
- A neighborhood plan and building designs that comply with the view corridor in Planning Area B(2), as shown in the included before/after visual renderings.
- A neighborhood plan that complies with the perimeter building and parking setbacks established in the Westminster Municipal Code, the PDP and the Residential Design Standards.
- A neighborhood plan that considers and embraces the public land dedication to the east, by providing pedestrian connection for existing and future residents and homes that ‘front’ on the future park. Additionally, the inclusion of an approximately 1.5 acre publicly accessible park central to the neighborhood that also includes pedestrian connections for existing and future residents.
- Perimeter improvements to provide regional connections to the future Village Center location in Planning Area A(8).
- A neighborhood plan that considers the individual character of the parcel and its context, while providing housing types and sizes new to this community:

- The plan meets or exceeds perimeter setback requirements, including a 57' setback to the shared property line to the west.
- Fence and landscape improvements between the proposed neighborhood and adjacent uses (single family to the west, multi-family to the northeast).
- Building types that work with the existing grades to minimize the need for cut, fill and retaining walls.
- Home types (single family detached and paired homes) that provide a transition between the existing single family to the west and multi-family to the northeast.
- Lot sizes that provide diverse housing types, housing prices and overall design to provide new for-sale 'missing middle' housing options with reduced water use for Westminster residents while increasing publicly accessible public spaces and maintaining view corridors.

Additionally, the proposed ODP complies with the Residential Design Standards. WMC 11-7-4(d) references these standards, noting they are 'intended to establish quality appearance, compatibility of character, variety of design, and enhanced community values. In addition to minimum criteria, electives are also associated with points, of which a minimum number must be chosen to further enhance sound residential planning, architectural quality and landscape design.' The proposed plan meets the minimum criteria, except as noted and justified in 11-4-15(A)(4) below. Finally, the proposed plan exceeds the minimum elective points to further enhance sound residential planning.

4. Section 11-5-15(A)(4), W.M.C. provides the following condition of approval: *“For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.”*

The proposed Official Development Plan (ODP) meets this standard because any exceptions from standard code requirements (including the City’s Single-Family Detached Design Standards (DS), Single-Attached Design Standards (DS) and the Uplands Preliminary Development Plan (PDP)) are warranted by virtue of design or special amenities incorporated in the proposed ODP and are clearly identified on the proposed ODP.

These exceptions are supported by the intentional flexibility described in the City’s definition of PUD zones, which gives the City the ability to update these codes and standards. These exceptions are necessary to comply with the vision for Uplands and provide much needed housing diversity within the City of Westminster. They also are consistent with best practices in neighborhood design in municipalities across the Front Range. Supporting documents include:

- 2013 Comprehensive Plan – the land use designation for this planning area was amended (Ordinance 4018) in 2020 to allow for a larger variety of housing types.
- 2040 Comprehensive Plan – this plan includes a cornerstone focused on providing a balanced mix of housing opportunities for a range of incomes, age groups, and lifestyle choices. It goes on to encourage sustainable design practices and to continue providing a variety of neighborhood types with a diversity of housing choices to serve a range of household sizes, compositions and needs.
- 2017 Housing Needs Assessment – this study includes recommendations to accommodate a variety of housing choices and price points; building smaller homes on smaller lots to create an increase in supply while reducing the amount of land each homeowner needs to purchase thereby lower the overall costs; and enabling greater diversity offered by new construction.
- Westminster Municipal Code (WMC) – the site is zoned PUD; per code, this zone district is intended to reflect maximum design freedom to fully utilize the physical characteristics of the site, to provide for diversification and flexibility in housing types, housing prices and overall design and to encourage higher quality development than possible under traditional standard zoning regulations.
- Uplands Preliminary Development Plan (PDP) – the approved PDP includes planning principles that encourage compact, walkable development along with diverse housing types and sizes.

The exceptions are summarized and justified below (please refer to the detailed Official Development Plan plan set for additional details):

1. Off-street parking – an exception to WMC 11-7-4(B)(2) and SFD Residential Design Standard 5(C)
 - Standard – SFA guest parking (1 space/3 units) and SFD guest parking (2 spaces/unit)

- Exception – Uplands provides the equivalent number of required spaces through a combination of off-street surface spaces and on-street (internal local roads) parallel spaces.
 - Justification – this exception does not reduce the quantity of parking spaces provided, but simply allows for these spaces to be provided through a combination of off-street surface spaces and on-street spaces. This exception is supported by the following documents:
 - 2013 Comprehensive Plan – the proposed compact alley loaded homes improve upon the outdated suburban garage and vehicle-dominated home type that requires full length driveways and increases housing diversity.
 - WMC – the proposed parking solution encourages ‘adequate parking for land uses in Westminster without creating excess vacant parking’ (11-7-4(d); provides for ‘diversification and flexibility in housing types, housing prices, and overall design’ (11-4-7(B)) through the use of alley-loaded homes on smaller lots and on-street parking that adds natural friction to the street to slow traffic and encourage more pedestrian movements.
 - This exception is further supported by the parking study included within the overall ODP submittal package.
2. Proximity to adjacent uses (setbacks) – an exception to SFA Residential Design Standard 1(C)
- Standard – permanent 35-foot landscape area shall be provided along each property line; detention areas are not permitted in this area
 - Exception – Uplands provides the required detention pond within the 35-foot setback.
 - Justification – this exception only applies to the detention pond; all perimeter building and parking setbacks are met for the neighborhood. Stormwater detention needs to be at the lowest point of elevation to be fully functional. Due to the existing topographic of the site (steeply sloping down to 84th), the pond cannot be located within the neighborhood and effectively capture on-site runoff. Landscaping is provided in both the detention pond and landscape buffer south of 84th Avenue, meeting the intent of providing compatible land uses and maintaining aesthetic quality. This exception is supported by the following document:
 - WMC – the exception permits ‘the developer an opportunity to more fully utilize the physical characteristics of the site through...the absence of setback and bulk restrictions’ (11-4-7(B)). This pond location makes the best use of the land and allows the natural drainage to function for this neighborhood as well as improve existing drainage conditions for existing homes to the west.
3. Proximity to adjacent uses (screening) – an exception to SFA Residential Design Standard 1(D)
- Standard – earth berming (3 feet 6-inch minimum height) required in setback areas along public streets and between different land uses

- Exception – Uplands excludes berms along public streets to promote a pedestrian-friendly and activated streetscape. Along adjacent residential uses, Uplands provides the existing and proposed fencing, topography and landscaping to create transitions.
- Justification – this exception removes berms that would otherwise block the proposed homes from adjacent streets. The proposed alley-loaded home type with front doors and patios fronting the street encourages pedestrian activation along perimeter streets. The exception promotes alternative solutions for transitions to adjacent existing residential land uses:
 - SFD to west – this transition is provided through an existing 6-foot screen fence along the property line. A swale is proposed along this property line, capturing the drainage from the proposed lots and diverting it to the detention pond, instead of adjacent homes’ yards. Adding a berm would negate this drainage improvement. Landscaping is proposed to provide additional screening.
 - Multi-family to north – a berm exists along the shared property line; this transition is enhanced through a 6-foot fence along the shared property line along with enhanced landscaping.

This exception is supported by the following document:

- WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility in housing types...and overall design’ and ‘encourage higher quality development’ (11-4-7(B))by activating the adjacent streets through alley-loaded pedestrian-friendly homes instead of the outdated suburban garage and vehicle-dominated home type that needs to be screened from adjacent streets. Additionally, it ‘permits the developer an opportunity to more fully utilize the physical characteristics of the site through...the absence of setback and bulk restrictions’ (11-4-7(B)) by allowing the existing physical conditions along with improved drainage and landscape solutions to create these transitions.

4. Lot size (setbacks) – an exception to SFA Residential Design Standard 11(C) and SFD Residential Design Standard 10

- Standards and Exceptions (vary, see table below)

	Setbacks			
	SFA		SFD	
	Design Standard	Uplands Exception	Design Standard	Uplands Exception
Front to living area	25-feet	12-feet	25-feet	12-feet
Front to porch		8-feet	14-feet	8-feet
Side (corner)	25-feet	12.5-feet	n/a	n/a
Rear setback	25-feet	7-feet	25-feet	7-feet

- Justification – this exception only applies to on-lot building setbacks; all perimeter building and parking setbacks are met for the neighborhood. This exception is supported by the following documents and policies:

- 2013 Comprehensive Plan – the proposed setbacks increase housing diversity, provide a density transition from existing homes and cluster housing while providing public land dedication and preserving view corridors. These reduced setbacks minimize the amount of land required to build the proposed homes and allow for larger publicly accessible private park spaces (8% provided, 4% required, elective points are only given up to 6%).
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility in housing types, housing prices, and overall design’ (11-4-7(B)) through the use of more compact, alley-loaded homes on smaller lots. The reduced setbacks ‘encourage higher quality development’ (11-4-7(B)) by activating the adjacent streets through alley-loaded pedestrian-friendly homes that engage the streets and adjacent public spaces and promote community interaction.
 - Other – the reduced setbacks also align with city-wide goals and policies related to water and housing. The reduced lot sizes reduce the potential irrigated area of each lot, promoting responsible water use and lowering the community’s overall water footprint. Additionally, the 2017 Housing Needs Assessment identified a drop in the ability for residents to become homeowners – these more compact homes on smaller lots provide new ‘missing middle’ housing options for Westminster residents at a lower relative cost than new SFD home on larger lots that make up much of the City’s for-sale housing inventory. The needs assessment includes a recommendation to ‘increase the diversity of housing available for purchase’.
5. Lot size (outdoor living areas) – an exception to SFD Residential Design Standard 2(C)
- Standard – usable front porches and side or rear yard patios shall be required on a minimum of 50% of the approved models and residences built
 - Exception – Uplands provides usable front porches and a combination of front porches, owner’s decks and side decks to meet the side and rear patio requirements on 100% of SFD tuckunder homes. A minimum of 400 cumulative square feet of usable area is provided on each lot.
 - Justification – this exception applies to all proposed SFD tuckunder home types; it does not apply to other home types. The tuckunder homes absorb grade and limit the amount of retaining walls required through the neighborhood. The nature of this home type creates side yards with limited usability. Multiple levels of porches and decks totaling more than 400 SF are placed on the front elevation, which provide additional projects and recesses to the home as well as views toward open space. Additionally, Uplands is providing this alternative on 100% of the tuckunder homes, instead of the 50% required. This exception is supported by the following document:
 - WMC – this exception aligns with the WMC by permitting ‘the developer an opportunity to more fully utilize the physical characteristics of the site through...the absence of setbacks and bulk restrictions’ (11-4-7(B)). The existing topography creates grading challenges that are best solved using tuckunder homes that can absorb grades. The intent of this standard – providing private

outdoor space for homes – is met by providing alternative outdoor spaces, while best working with the existing grades.

6. Off-street parking setbacks – an exception to SFA Residential Design Standard 11(E)
 - Standard – 15-foot setback from interior property lines
 - Exception – Uplands provides a minimum 4-foot setback between SFA property lines and parking lots.
 - Justification – this exception applies to the small grouped off-street parking spaces throughout the neighborhood. The design standard is intended to provide landscape buffers from larger parking lots while these are purposefully located near homes to be easily accessible by guests. A total of 18 of the proposed off-street spaces are less than 15-feet from the SFA lot lines. 14 of these 18 spaces are oriented as pull-in spaces directly adjacent and parallel to proposed garages (placing a parking use next to a parking use), negating the need for a buffer. This exception is further minimized by providing additional guest parking along internal local streets. This exception is supported by the following document:
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility...overall design’ (11-4-7(B)) through the use of more compact, alley-loaded homes. The reduced setbacks ‘encourage higher quality development’ (11-4-7(B)) by placing parking options off alleys and near homes while activating the adjacent streets through pedestrian-friendly homes that engage the streets and adjacent public spaces and promote community interaction.

7. Roof design – an exception to SFA Residential Design Standard 1(E)
 - Standard – roof pitch of 5 in 12 or greater on all buildings
 - Exception – Uplands provides a minimum roof pitch of 4 in 12 for minor roofs on SFA homes (the 5 in 12 requirement is met on all main roofs and on all SFD homes).
 - Justification – this exception applies to the covered porch roofs and shed roofs on the SFA paired homes. The 4 in 12 pitch accommodates egress window requirements above the porches. The shed roofs (only apply to the mid-century architectural style) are a lower pitch to fit with that architectural style. This exception is supported by the following document:
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility...overall design’ (11-4-7(B)) through the use of minor modifications to the roof pitch to provide bedrooms with safe egress and, in some cases, match the mid-century style of one elevation type.

8. Garage size – an exception to SFA Residential Design Standard 2(A) and SFD Residential Design Standard 3(B)
 - Standard – minimum 22-foot depth, excluding all possible areas of stair locations

- Exception – Uplands provides a minimum 22-foot depth, including all possible areas of stair locations and trash/recycling bins and other storage.
- Justification – this exception applies to how garage depths are measured. While the proposed garages meet the minimum depth, up to 3 feet of the depth is utilized for stair access, for trash to be enclosed within the garage and for other storage. This leaves 19 feet of clear depth for vehicles. This exception is supported by the following document:
 - 2017 Housing Needs Assessment – thoughtfully sized garages align with city-wide goals and policies related to housing. The needs assessment identified a drop in the ability for residents to become homeowners – these more compact homes on smaller lots provide new ‘missing middle’ housing options for Westminster residents at a lower relative cost than new SFD home on larger lots that make up much of the City’s for-sale housing inventory. The needs assessment includes a recommendation to ‘increase the diversity of housing available for purchase’.

9. Exterior design elements – an exception to SFD Residential Design Standard 2(D)

- Standard – windows of a minimum width of 5 feet that project a minimum of 16 feet from the front façade shall be required on 50% of more of all units within a streetscape
- Exception – in place of bay or box windows, Uplands provides multiple plane breaks and gable end treatments.
- Justification – in keeping with current design trends, a variety of roof and wall plane breaks and multiple materials are included on all front elevations. Front porches and decks contribute to additional plane relief. Each home includes exterior materials such as siding, textured panel board, trim and masonry. Gabled treatments of textured panel board, brackets, corbels and narrow lap siding are provided at all gables. These design trends create more dynamic architecture and streetscape solutions than a bay or box window would achieve. Additionally, varying the overall massing of each home creates a more intriguing streetscape than a monotonous bay or box window. Finally, Uplands exceeds the maximum point threshold for alley-loaded garages. Points are awarded for providing alley-loaded garages on 75% of homes; Uplands is providing 100%. This exception is supported by the following document:
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility...overall design’ (11-4-7(B))by using different design techniques (variation in roof and wall place breaks, multiple materials, porches, decks and gable end treatments) to meet the intent of the design standard (to create diversity along the streetscape).

10. Exterior building materials (wrapped deck columns) – an exception to SFD Residential Design Standard 4(B)

- Standard – all second story (of first-story walkout) decks shall include brick or stone wrapped columns when abutting streets, open space, trails and parks
- Exception – Uplands provides a variety of deck columns appropriate to the design of each front elevation on all tuckunder SFD homes.

- Justification – this exception ensures that deck columns are designed to reflect the architectural style of the homes. Due to the alley-loaded configuration of the lots and limited usability of the side yard (due to grading), most outdoor living will be placed on the front elevation with columns sized appropriately per elevation style. Column sizes will be kept to a minimum to maximize the size of outdoor living areas, ranging in size from 8 inches to 24 inches and consisting of multiple materials, including wrapped panel siding, trim, corbels and masonry. The diversity of design solutions helps achieve a variety of distinct entry treatments. This exception is supported by the following document:
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility...overall design’ (11-4-7(B)) by using a variety of materials and column sizes to reflect the architectural style of the home while providing additional architectural diversity along the street space.

11. Exterior building materials (masonry requirement) – an exception to SFA Residential Design Standard 5(A)

- Standard – minimum 30% of non-window/door building surfaces of SFA homes shall be finished with masonry (brick or stone)
- Exception – Uplands provides an average of 30% masonry measured across all SFA elevations (in lieu of 30% per elevation).
- Justification – this exception allows Uplands to apply masonry where it is most impactful, especially at the front of the home. All SFA front elevations have at least 49% masonry on the non-door/window surfaces. The front elevations face highly visible corridors, including open space, parks and public roads. While still providing the same percentage overall, this exception enhances public-facing facades with no increase to overall home cost. This exception is supported by the following document:
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility in housing types, housing prices, and overall design’ by using high-quality materials in a manner that empathizes the highly visible facades. This meets the intent of the design standards while providing additional architectural diversity and higher quality materials along public-facing facades.

5. Section 11-5-15(A)(5), W.M.C. provides the following condition of approval: *“The plan is compatible and harmonious with existing public and private development in the surrounding area.”*

The proposed ODP meets this standard because it is in conformance with the approved PDP, which established a framework that is compatible and harmonious with the existing public and private development in the surrounding area.

The proposed ODP depicts a neighborhood plan that considers existing public and private development in the surrounding area through the following design solutions:

- A compact neighborhood that improves upon the walkability of the overall area, including connecting existing and future residents to the adjacent public land dedication, the publicly accessible private park as well as to the regional sidewalk network.
- A neighborhood plan and building designs that comply with the view corridor in Planning Area B(2), as shown in the included before/after visual renderings.
- A neighborhood plan that complies with the perimeter building and parking setbacks established in the Westminster Municipal Code, the PDP and the Residential Design Standards.
- A neighborhood plan that considers and embraces the public land dedication to the east, by providing pedestrian connection for existing and future residents and homes that ‘front’ on the future park. Additionally, the inclusion of an approximately 1.5 acre publicly accessible park central to the neighborhood that also includes pedestrian connections for existing and future residents.
- A neighborhood plan that meets or exceeds perimeter setback requirements, including a 57-foot setback to the shared property line to the west.
- Fence and landscape improvements between the proposed neighborhood and adjacent uses (single family to the west, multi-family to the northeast).
- Multiple building types are utilized to reduce the extent of earthwork operations, retaining walls and stairs across the site and accommodate the existing natural terrain and steep topography. The proposed neighborhood utilizes tuckunder homes with two-story fronts and three-story alley-loaded rears to absorb grade along the side of the home using exposed foundation walls. By absorbing grade along the side of the home, retaining walls and stairs at the fronts of the homes and along the perimeter of the site are drastically reduced.
- Home types (single family detached and paired homes) that provide a transition between the existing single family to the west and multi-family to the northeast.

6. Section 11-5-15(A)(6), W.M.C. provides the following condition of approval: *“The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.”*

The proposed ODP meets this standard because it is in conformance with the approved PDP, the Design Standards for Single-Family Attached and the Design Standards for Single-Family Detached, except as noted and justified in 11-4-15(A)(4) below. The standards established for single family uses provide criteria for new developments and are intended to establish quality appearance, compatibility of character and variety of design. They refer to policies to promote an inclusive, demographically diverse citizenry in unique settings with easy access to amenities, shopping, employment and diverse integrated housing options. They include standards for land use compatibility, proximity to other land uses and buffering and offer a variety of mitigation techniques when different uses abut each other, including setbacks and landscaping.

Compliance with specific design standards that ensure the development is protected from potentially adverse surrounding influences and that the surrounding area is protected from potentially adverse influences from within the development include:

- Conformance with the Comprehensive Plan – the proposed PDP is consistent with the 2013 Comprehensive Plan and 2040 Comprehensive Plan land use designations, both of which allow SFD and SFA homes up to 5 du/ac.
- Perimeter Setbacks – the proposed ODP complies with all perimeter building and parking setbacks established in the Westminster Municipal Code, the PDP and the Residential Design Standards.
- View Preservation – the proposed ODP is consistent with the view preservation design standards, which state that view corridors identified in the Comprehensive Plan shall be preserved and that the main intent is to preserve the views that can be seen from public spaces. The neighborhood plan and building designs comply with the view corridor in Planning Area B(2), as shown in the included before/after visual renderings.
- Drainage– significant improvements to the drainage patterns and control will be made with the proposed neighborhood. In the existing condition, stormwater and runoff from the site and Bradburn Drive sheet flow off to Shaw Heights to the west and Lowell Terrace to the north before outfalling into the existing West 84th Avenue curb and gutter. Additionally, in the existing condition, stormwater runoff from the land south of Bradburn Drive, West 82nd Avenue, LaPlace Court and the Gregory Hills Pump Station detention pond overtops the LaPlace Court and Bradburn Drive intersection toward existing lots in the Shaw Heights neighborhood. The proposed ODP utilizes underground infrastructure, inlets, curb and gutter, swales and a detention pond to route, treat and attenuate stormwater runoff from the property, Bradburn Drive, LaPlace Court and West 82nd Avenue, reducing the amount of undetained runoff to the surrounding neighborhoods. The proposed detention pond outfalls into the existing underground infrastructure at Circle Drive and West 84th Avenue, reducing the amount of runoff seen by the curb and gutter along the south side of West 84th Avenue in the existing condition.
- Circulation – the proposed ODP is consistent with the circulation design standards, which describe a hierarchical network of streets that provides access to residential development but minimizes higher traffic volumes from residential development. In the proposed plan, vehicular access is limited to Bradburn Drive (a minor collector street), which keeps the proposed

neighborhood's traffic on minor collector and collector streets while minimizing cut-through traffic. The proposed street sections and trail network also comply with the PDP and enhance the pedestrian and bicycle circulation system to achieve ease of mobility. Additional road and sidewalk improvements are proposed along West 82nd Avenue, Bradburn Drive and a portion of LaPlace Court along with sidewalk improvements along the south side of West 84th Avenue. Off-site, LaPlace Court is disconnected from Bradburn Drive to address existing challenges with traffic movements and to prevent additional traffic from the proposed neighborhood being absorbed along LaPlace Court, which is a local street.

- Building Height – the proposed ODP is consistent with the design standards related to maximum building height. The design standards describe a maximum building height of three stories while the approved PDP describes a maximum building height of 40-feet. The proposed ODP includes two-story paired homes and tuckunder single family homes (two-story front elevations and three-story elevations on the alley side to best accommodate existing grade); the ODP notes a maximum height of 32-feet, 2-inches.

7. Section 11-5-15(A)(7), W.M.C. provides the following condition of approval: *“The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

The proposed ODP meets this standard because, in compliance with the PDP, it identifies and includes substantial infrastructure improvements both within and surrounding the proposed neighborhood. These improvements will benefit future land uses, potential future development of the immediate area and the existing neighboring community. The proposed ODP does not have significant adverse impacts on existing or future land uses nor upon the future development of the immediate area.

These substantial infrastructure improvements provided by Uplands include:

- Water – the proposed water improvements strengthen and enhance the existing water network. These improvements complete the water network for the area and bring it up to the latest standards and specifications. Sufficient water infrastructure and fire hydrants are provided throughout the proposed neighborhood to service and meet the required fire flow demands of the site. Two points of water connection are provided for the neighborhood to facilitate water circulation – one along West 84th Avenue and one along Bradburn Drive.
- Stormwater Management / Drainage – the proposed drainage improvements include underground infrastructure, inlets, curb and gutter, swales and a detention pond to route, treat and attenuate stormwater runoff from both the proposed neighborhood and adjacent land, including south of Bradburn Drive, West 82nd Avenue, LaPlace Court and the outfall from the Gregory Hills Pump Station detention pond. The proposed detention pond outfalls into the existing underground infrastructure at Circle Drive and West 84th Avenue, reducing the amount of runoff seen by the curb and gutter along the south side of West 84th Avenue in the existing condition. The proposed infrastructure is designed such that downstream infrastructure is not negatively impacted.
- Sanitary Sewer – the proposed sanitary improvements strengthen and enhance the existing sanitary sewer network. These improvements complete the sanitary sewer network for the area and bring it up to the latest standards and specifications. Sufficient sanitary sewer infrastructure is provided throughout the proposed neighborhood to meet the proposed demands of the site. The sanitary sewer systems outfalls into existing infrastructure in West 84th Avenue.
- Roadways – two vehicular access points are proposed for the neighborhood. One access point (to the north, along West 84th Avenue) is a dedicated emergency vehicle access that does not allow neighborhood traffic movements. The second access point is a local street connection Bradburn Drive, which runs north/south through the proposed neighborhood, terminating in a cul-de-sac. The proposed emergency vehicle access connects to the proposed cul-de-sac, providing the required two points of emergency access while eliminating the potential for cut-through traffic. The proposed local street (Osceola Street) is sufficient to meet the generated traffic demands of the proposed neighborhood. Off-site, LaPlace Court is disconnected from Bradburn Drive, per guidance from City staff, due to the existing intersection design not meeting current intersection safety specifications.

Additionally, the proposed PDP meets this standard because it is in conformance with the Comprehensive Plan and associated Design Standards, except as noted and justified in 11-4-15(A)(4) below.

8. Section 11-5-15(A)(8), W.M.C. provides the following condition of approval: *“The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.”*

The proposed ODP meets this standard because it is in conformance with the approved PDP, the Design Standards for Single-Family Attached and the Design Standards for Single-Family Detached, except as noted and justified in 11-4-15(A)(4) above. As explained below, the plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.

The proposed neighborhood plan was designed to work from the outside in. As stated above, the neighborhood plan complies with the approved PDP and locates public land dedication at the northwest corner of Lowell Boulevard and Bradburn Drive. Detention is located at the northwest corner of the site (the lowest point of the site) to effectively capture on-site run-off, allow the natural drainage to function for this neighborhood and improve the drainage conditions for the existing homes to the west. Perimeter building and parking setbacks were established in the PDP and Residential Design Standards and are met with this proposed design. The street network was designed to provide access to the residential uses without creating cut-through traffic between W 84th Avenue and Bradburn Drive. This creates a street network that loops internally and connects to Bradburn Drive. The proposed homes were laid out to celebrate publicly accessible and/or visible spaces – homes front streets (internal and perimeter) and parks/open spaces to keep eyes on and engage these public spaces while promoting community interaction. The proposed structures are placed on the lots to balance the incorporation of private outdoor spaces with reduced water use and home prices. The proposed lot configurations ensure each homeowner has a variety of private outdoor spaces that are usable without a focus on heavy turf usage.

9. Section 11-5-15(A)(9), W.M.C. provides the following condition of approval: *“Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The proposed Official Development Plan meets this standard because the building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice, and meet the Westminster Municipal Code (WMC), Uplands PDP, the Design Standards for Single-Family Attached and the Design Standards for Single-Family Detached, except as noted and justified in 11-4-15(A)(4) above.

- Building height – the maximum proposed building heights comply with the approved PDP - a 40-foot maximum building height is permitted in the PDP and a 32-foot, 2-inch maximum building height (as measured per IRC) is proposed.
- Bulk, setbacks and lot size – these are met except as specifically noted as exceptions. These exceptions are justified as follows:
 - Minimize impact to adjacent neighborhoods – all perimeter building and parking setbacks are met for the neighborhood. While on-lot setbacks are reduced, a thoughtful transition to existing neighborhoods is provided through perimeter setbacks that are code-compliant.
 - These exceptions are supported by the following documents and policies:
 - 2013 Comprehensive Plan – the proposed setbacks increase housing diversity, provide a density transition from existing homes and cluster housing while providing public land dedication and preserving view corridors. These reduced setbacks minimize the amount of land required to build the proposed homes and allow for larger publicly accessible private park spaces (8% provided, 4% required, elective points are only given up to 6%).
 - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility in housing types, housing prices, and overall design’ (11-4-7(B)) through the use of more compact, alley-loaded homes on smaller lots. The reduced setbacks ‘encourage higher quality development’ (11-4-7(B)) by activating the adjacent streets through alley-loaded pedestrian-friendly homes that engage the streets and adjacent public spaces and promote community interaction.
 - Other – the reduced setbacks also align with city-wide goals and policies related to water and housing. The reduced lot sizes reduce the potential irrigated area of each lot, promoting responsible water use and lowering the community’s overall water footprint. Additionally, the 2017 Housing Needs Assessment identified a drop in the ability for residents to become homeowners – these more compact homes on smaller lots provide new ‘missing middle’ housing options for Westminster residents at a lower relative cost than new SFD home on larger lots that make up much of the City’s for-sale housing inventory. The needs assessment includes a recommendation to ‘increase the diversity of housing available for purchase’.

- Lot coverage – the only specific lot coverage requirement is that publicly accessible private parks and open space must cover at least 4% of the site. This requirement is exceeded –the proposed ODP provides for publicly accessible private parks and open space on 8% of the site.

10. Section 11-5-15(A)(10), W.M.C. provides the following condition of approval: *“The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.”*

The proposed Official Development Plan meets this standard because the standards are met, except as noted and justified in 11-4-15(A)(4) above.

- Anti-Monotony Criteria – all SFD and SFA models meet two of four criteria for anti-monotony, which include different and purposeful roof forms / lines / profiles and different entry treatments. Also, all models include a diverse mix of architectural styles that help meet the overall design intent at Uplands, which include farmhouse, craftsman and transitional styles. Uplands will provide an exhibit pre-planning the home types at time of first building permit submittal to ensure the anti-monotony criteria are met. Finally, four distinct SFD models are provided to help provide a unique visual variety and a diverse streetscape.
- Exterior Design Elements – exterior design and details are incorporated in the overall building form through the use of projections and recesses for all three-story SFD products. A horizontal offset of 4 foot or greater on at least 50% of models are provided on all SFD models. Also, all SFD roof slopes are at a 5:12 minimum pitch with 18-inch minimum overhanging eaves. Roof breaks occur on all models, which exceed the City’s minimum requirements. Finally, all homes are designed with outdoor living areas that meet the SFD and SFA requirements, which include front porches with 80 square feet minimum usable, functional area with 6’ foot minimum depth. The SFD models exceed the City’s outdoor living areas requirement by providing a combination of patio/decks that total 400 square feet minimum.
- Garages – all SFD and SFA models reduce the garage door’s dominance on the streetscape by providing alley-loaded garages. Also, all garage doors are at least 7 feet tall and 16 feet wide with glazing in the door panels.
- Exterior Materials and Colors – all SFD and SFA models include asphalt composition architectural grade roofing and a variety of high-quality wall materials including stone, siding and decorative window trim that reflect the architectural style of the model. All homes have a minimum 30% masonry on the front elevation.

11. Section 11-5-15(A)(11), W.M.C. provides the following condition of approval: *“Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.”*

The proposed Official Development Plan meets this standard because fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.

- Fences – an existing 6-foot screen fence is located along the west property line, providing screening between the existing single-family and proposed paired homes. A 6-foot perimeter fence with masonry columns is proposed along the northeast property line, providing screening between the existing multi-family homes and proposed single-family detached and paired homes. Additionally, 6’ privacy fences are included on each individual lot, as noted in the ODP.
- Walls – no screen walls are provided. The only retaining walls provided are internal to the proposed neighborhood and are utilized to create accessible and usable amenity spaces.
- Vegetative screening – vegetative screening is provided along the west and northeast property lines to provide additional screening and transition to adjacent uses. The minimum 57’ building setback to the west property line includes a consistent landscape buffer between the existing and proposed homes, which consists of a variety of canopy, ornamental and evergreen trees.

The north, south and east property lines are designed to not require fences, walls or vegetative screening. These edges front public streets and public land dedication – the proposed design activates these spaces through alley-loaded pedestrian-friendly homes that engage the streets and adjacent public spaces and promote community interaction.

12. Section 11-5-15(A)(12), W.M.C. provides the following condition of approval: *“Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.”*

The proposed Official Development Plan meets this standard because the standards are met, except as noted and justified in 11-4-15(A)(4) above.

The overall landscape plan is designed to screen and/or create a transition to adjacent uses (to the northeast and west), to engage and activate public spaces (to the north, south and east) and balance the creation of community gathering and play areas with thoughtful water use.

The proposed landscape plan complies with the landscape character as described in the PDP by utilizing xeric plant material and limiting turf to only those areas designated as active play areas. All tree lawns consist of low water use shrub material and native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

As noted in the ODP, the following landscape requirements are met or exceeded:

- Tree/shrub landscape requirements are met or exceeded across the whole of the neighborhood
- High water turf areas cover approximately 7% of the neighborhood (compared to the 20% allowed)
- Open play area requirement is exceeded (1% of total site area is required; 3.3% is provided).
- Playground area requirement is exceeded (0.5% of total site area is required; 1.0% is provided).
- Required landscape area is exceeded (40% of total site area is required; 43% is provided).
- Publicly accessible public park area is exceeded (4% of total site area is required; 8% is provided).

13. Section 11-5-15(A)(13), W.M.C. provides the following condition of approval: *“Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.”*

The proposed ODP meets this standard because, consistent with the approved PDP and Master Traffic Impact Study (TIS), the development is designed so that existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity. These design features include the following:

- PDP – Street Sections
 - Perimeter streets – the proposed ODP includes street sections for Bradburn Drive and West 84th Avenue that are generally consistent with the PDP. The existing ROW for Bradburn Drive is 10 feet greater than a standard minor collector (as depicted in the PDP); this additional space allows for a wider tree lawn on both sides of the street. Although improvements to West 84th Avenue between Circle Drive and Lowell Boulevard are not explicitly noted in the PDP, the improvements provided with this neighborhood are in general compliance with the intent of West 84th Avenue as it exists today. The improvements include enhancements to both the existing sidewalk and tree lawn along the south side of West 84th Avenue. No further improvements are anticipated for West 84th Avenue, west of Lowell Boulevard.
 - Local streets – the proposed ODP includes a local street section that is consistent with the local street section provided in the PDP.
 - Alleys – the proposed ODP includes alley sections that are generally consistent with the alley sections provided in the PDP (both plans include sections with 20 foot or 26 foot pavement sections and the inclusion of 30 foot access and utility easements). The proposed minimum building to building dimension proposed in the ODP exceeds the dimension noted in the PDP in order to comply requirements provided the Westminster Fire Department to ensure aerial apparatus access to the proposed homes.
- PDP – Phasing Plan
 - To comply with the PDP Phasing Plan, two vehicular access points are proposed for the neighborhood. One access point (to the north, along West 84th Avenue) is a dedicated emergency vehicle access that does not allow neighborhood traffic movements. The second access point is a local street connection Bradburn Drive, which runs north/south through the proposed neighborhood, terminating in a cul-de-sac. The proposed emergency vehicle access connects to the proposed cul-de-sac, providing the required two points of emergency access while eliminating the potential for cut-through traffic. The proposed local street (Osceola Street) is sufficient to meet the generated traffic demands of the proposed neighborhood. Off-site, LaPlace Court is disconnected from Bradburn Drive, per guidance from City staff, due to the existing intersection design not meeting current intersection safety specifications.
- Master Traffic Impact Study
 - The traffic conformance letter submitted with the proposed ODP projects this neighborhood is in compliance with the approved Master Traffic Impact Study, such that

all PA-B(1) generated trips will be at or below the limits specified within the Master Traffic Impact Study.

14. Section 11-5-15(A)(14), W.M.C. provides the following condition of approval: *“Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.”*

The proposed Official Development Plan meets this standard because, consistent with the approved PDP, streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic. These design features include the following:

- Streets – as described in 11-5-15(A)(13) above, the proposed street sections are generally consistent with the street sections proposed in the approved PDP. The proposed streets include on-street parking, which adds natural friction to the street to slow traffic and encourage more pedestrian movements.
- Driveways – all proposed single-family attached and single-family detached driveways are accessed off the alley; no direct access is provided from the local or perimeter street networks. This improves safety and minimizes potential conflicts between vehicles, bicycles and pedestrians by focusing private vehicle access points at the rear of the home and focusing bicycles and pedestrians at the front of the homes within the right-of-way.
- Access points – the proposed access point is consistent with the access locations identified in the PDP. The PDP includes two access points off Bradburn into Planning Area B(1). The western access point (proposed Osceola Street) is located in generally the same location as found in the PDP and accommodates an aligned access point to the south for future development in Planning Area B(2). The eastern access point is part of Outlot A, identified as Public Land Dedication. This access point, if used, will be designed as part of the Public Land Dedication efforts, led by the City. The proposed ODP includes an access easement and fire lane connecting the Osceola Street cul-de-sac to West 84th Avenue. This provides the second point of access required by the Westminster Fire Department while discouraging cut-through traffic between W 84th Avenue and Bradburn, as discussed with our neighbors during the community outreach process.
- Turning movements – all proposed turning movements in and out of the proposed neighborhood comply with the approved Master Traffic Impact Study.
- LaPlace Court / 82nd Avenue Off-site Improvements – The off-site improvements proposed with this neighborhood include revisions to the LaPlace Court / Bradburn Drive / West 82nd Avenue intersection. With development of this neighborhood, LaPlace Court is disconnected from Bradburn Drive, per guidance from City staff, due to the existing intersection design not meeting current intersection safety specifications. The proposed off-site improvements have been designed using the latest City of Westminster Roadway Criteria, Standards, and Specifications.

15. Section 11-5-15(A)(15), W.M.C. provides the following condition of approval: *“Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.”*

The proposed ODP meets this standard because, consistent with the approved PDP, it includes significant pedestrian improvements that are designed to create a logical, safe and convenient system between proposed structures and off-site destinations which are likely to attract substantial pedestrian traffic.

The existing conditions around Planning Area B(1) include very limited sidewalks that do not create a logical, safe and convenient system. The 2017 Westminster Mobility Action Plan identified gaps in the sidewalk network along Lowell Boulevard and Bradburn Drive. Accordingly, the proposed ODP includes the following pedestrian improvements:

- Replacing the existing attached walk on West 84th Avenue along the B(1) frontage with a new 5-foot attached walk and tree lawn
- Adding 8-foot walks and 11-foot tree lawns on the north and south sides of Bradburn Drive
- Providing north/sidewalk connections between West 84th Avenue and Bradburn Drive through 5-foot walks and 6-foot tree lawns on the east and west sides of Osceola Street. These improvements transition to a mix of concrete and crusher fine walks that connect the cul-de-sac to West 84th Avenue within the fire access easement
- Adding internal sidewalk connections:
 - A north/south walk along the homes fronting the west property line and creating a loop between Bradburn and the north end of Osceola Street
 - An east/west walk connecting the western homes to the publicly accessible private park, including enhanced pavers and pedestrian bump-outs across Osceola Street
 - A looped network within the publicly accessible private park
 - Two east/west walks connecting Osceola Street to the public land dedication (one along the northeast property line and one just north of Bradburn Drive)
 - Minor internal connections
- Although not part of this ODP, additional future walk improvements are proposed along Lowell Boulevard, which are currently under review as part of the overall Uplands infrastructure package, completing the pedestrian circulation within/around this proposed neighborhood.

The proposed pedestrian circulation network provides missing or improved perimeter improvements (along West 84th Avenue, Bradburn Drive and Lowell Boulevard) and internal improvements connecting existing and future residents to the public land dedication, the publicly accessible private park as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections.

16. Section 11-5-15(A)(16), W.M.C. provides the following condition of approval: *“Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.”*

The proposed Official Development Plan meets this standard because it is consistent with the approved PDP, Uplands Master Utility Study and Uplands Phase I Drainage Report.

- PDP Phasing Plan, Master Utility Study and Phase I Drainage Report
 - Water – the proposed water improvements strengthen and enhance the existing water network. These improvements complete the water network for the area and bring it up to the latest standards and specifications. Sufficient water infrastructure and fire hydrants are provided throughout the proposed neighborhood to service and meet the required fire flow demands of the site and comply with the Master Utility Study. Two points of water connection are provided for the neighborhood to facilitate water circulation – one along West 84th Avenue and one along Bradburn Drive.
 - Sanitary Sewer – the proposed sanitary improvements strengthen and enhance the existing sanitary sewer network. These improvements complete the sanitary sewer network for the area and bring it up to the latest standards and specifications. Sufficient sanitary sewer infrastructure is provided throughout the proposed neighborhood to meet the proposed demands of the site and comply with the Master Utility Study. The sanitary sewer systems outfalls into existing infrastructure in West 84th Avenue.
 - Stormwater Management / Drainage – the proposed drainage improvements include underground infrastructure, inlets, curb and gutter, swales and a detention pond to route, treat and attenuate stormwater runoff from both the proposed neighborhood and adjacent land, including south of Bradburn Drive, West 82nd Avenue, LaPlace Court and the outfall from the Gregory Hills Pump Station detention pond, per the Uplands Phase I Drainage Report. The proposed detention pond outfalls into the existing underground infrastructure at Circle Drive and West 84th Avenue, reducing the amount of runoff seen by the curb and gutter along the south side of West 84th Avenue in the existing condition. The proposed infrastructure is designed such that downstream infrastructure is both improved and not negatively impacted.

17. Section 11-5-15(A)(17), W.M.C. provides the following condition of approval: *“The applicant is not in default or does not have any outstanding obligations to the City.”*

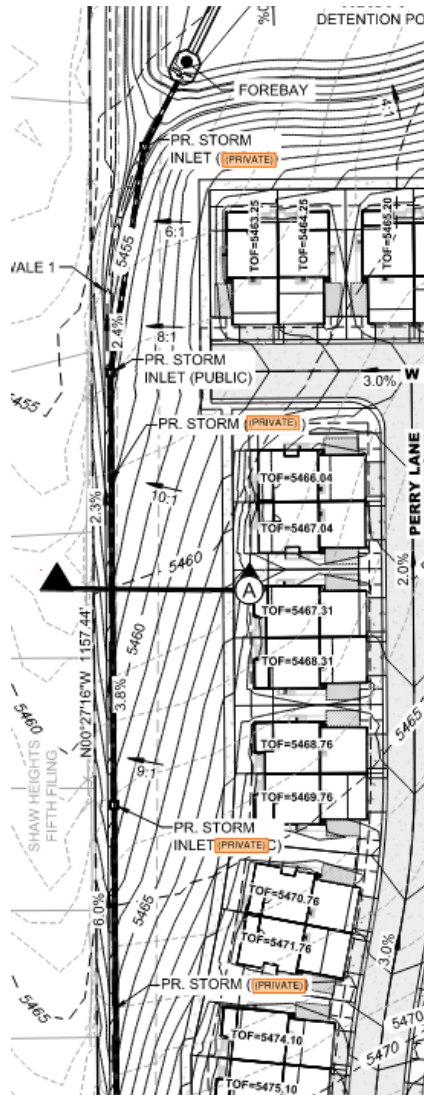
The proposed Official Development Plan meets this standard because the applicant is neither in default nor has any outstanding obligations to the City.

Outstanding Technical Corrections for Uplands Filing 2, Block 1 ODP

Sheet 1:

PLAT	LEGAL DESCRIPTION A REPLAT OF THE BLOCK 1 & OUTLOT A OF UPLANDS FILING NO. 2, REC NO. _____, DATED _____, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO	UPLAN C If this plat is not recorded prior to the approval and recording of this ODP, then the legal description will need to be revised.
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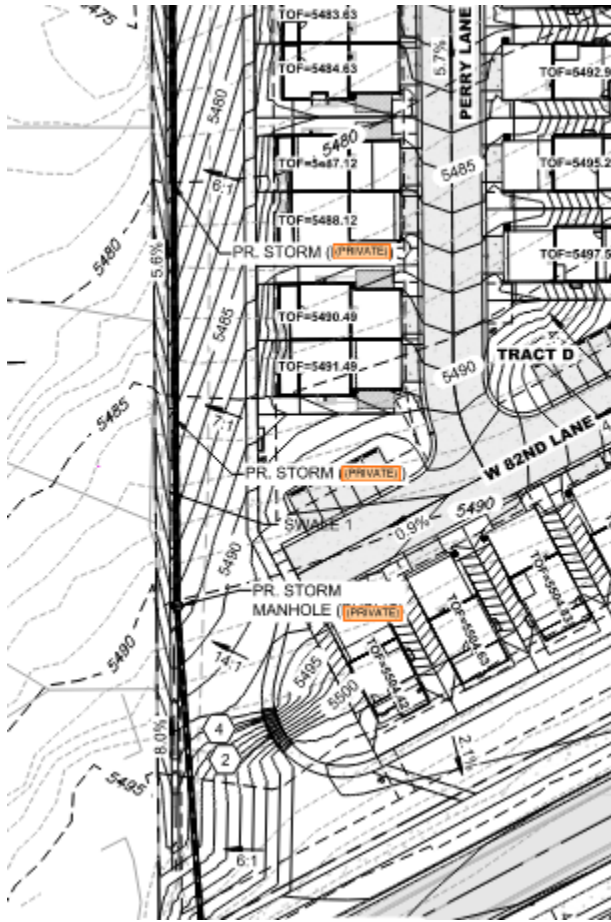
Sheet 21:



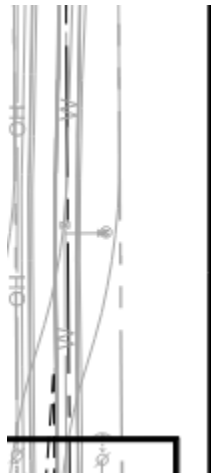
Sheet 22:



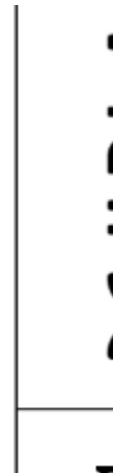
Sheet 24:



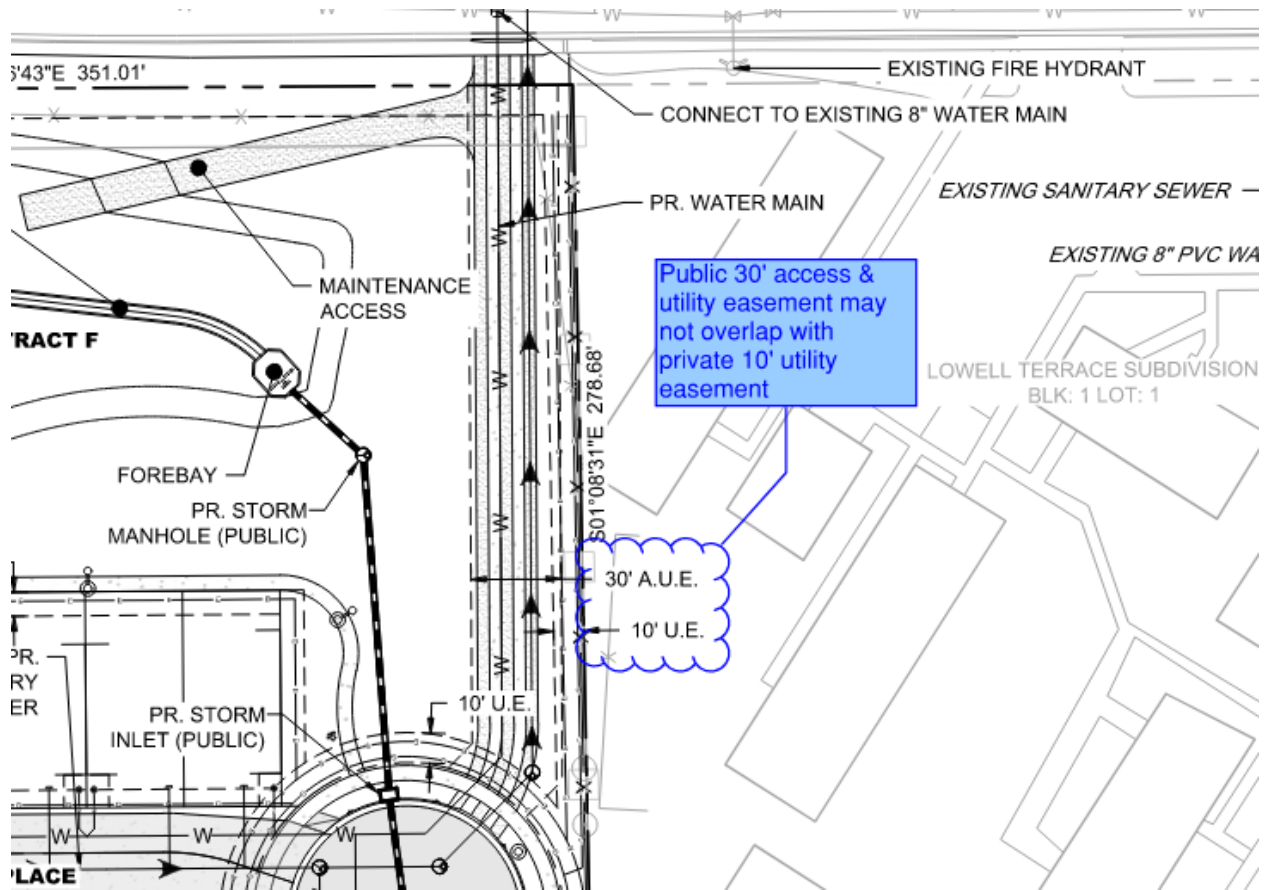
Sheet 25:



Revised multiple meter setting standard detail is attached in TRAKIT.



Sheet 26:



Sheet 32:

Select a different species. City Forester added Gleditsia to prohibited tree list due to Thronectria

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE
CA SP	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2' CAL	LOW
CE OC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2' CAL	LOW
GL HA	GLEDITSIA TRIACANTHOS 'INERMIS' 'HARVE'™	NORTHERN ACCLAIM THORNLESS HONEY LOCUST	B & B	3' CAL	LOW
GL SH	GLEDITSIA TRIACANTHOS 'INERMIS' 'SHADEMASTER'™	SHADEMASTER LOCUST	B & B	2' CAL	LOW
GY DI	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2' CAL	LOW
QU MA	QUERCUS MACROCARPA	BURR OAK	B & B	2' CAL	LOW
QU MU	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2' CAL	LOW
UL PR	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3' CAL	MOD

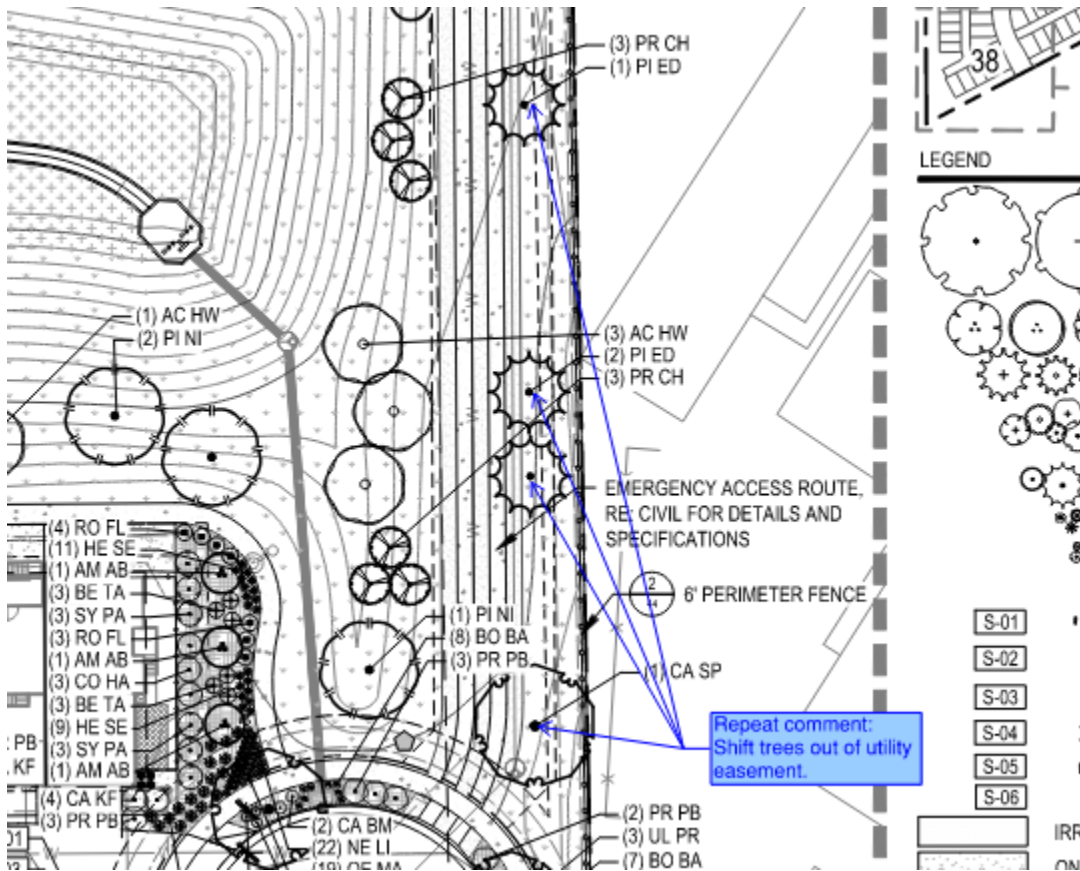
WATER USE	QTY
LOW	18
LOW	16
LOW	18
LOW	20
LOW	20
LOW	16
LOW	11
MOD	21
TOTAL	140

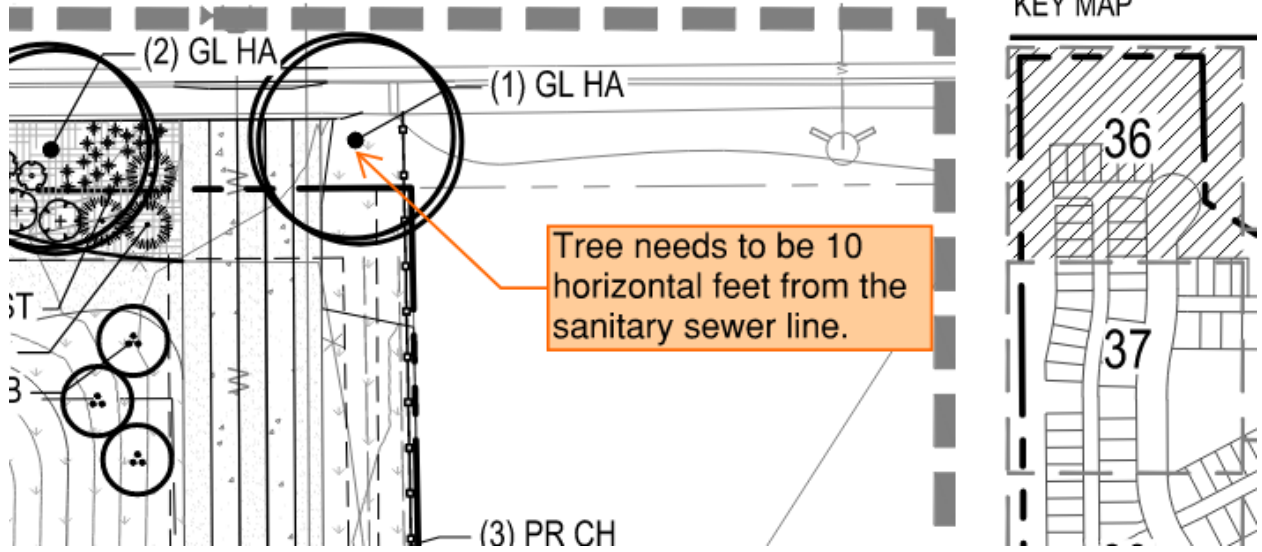
* NOTE:
 20% MIN SHADE TREES ARE INCREASED TO 3" CAL AND 20%
 MIN OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT.

include a column that shows
 the mature height and spread
 of each plant listed.

WATER USE	QTY
LOW	42
VERY LOW	35
MOD	27
VERY LOW	27
LOW	22

Sheet 36:





Attachment 5
Public Comments
Received as of July
17, 2023

From: Christian Cuyler <christian.cuyler@goluminate.com>
Sent: Wednesday, March 22, 2023 4:43 PM
To: Kasza, Jacob
Cc: Christian Cuyler; Christian Cuyler
Subject: [EXTERNAL] Uplands Parcel B-1 official development question prior to meeting (from homeowner with property connected to Uplands B-1 parcel)

Follow Up Flag: Flag for follow up
Flag Status: Completed

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jacob,

I received the Notice of Development Application and it is stated I can contact you before meeting with questions and thoughts; and I have many.

I am a homeowner with land that backs up to the Uplands B-1 parcel in the Shaw Heights filing 5 (8320 Auburn Lane, Westminster, CO 80031). Is the information available to the desired plan regarding the western boarder of Parcel B-1 (running north south) that is boarder by homes? I am very interested in knowing what will be developed on the other side of my fence. Is there any type of set back from the current owners in Shaw Heights like me? Or any type of new road to be created that runs this boarder that would provide me drive able access to the back of my property?

What was provided does not show a proposed location of what is to be built. Where are the single-family homes going and where are the attached homes going within the B-1 parcel? If this is an official development plan, where are the details of this plan?

I am also concerned about drainage in the area with the land having an incline as you proceed east from my lot. This would cause water from the development to flow towards my home but there appears to be no drainage currently due to the land being farmed.

I also want to know about the timeline for this development.

I am writing from my work email address; I have included a personal email address in the cc.

Thank you,

Christian Cuyler

Loan Officer / Processor | NMLS#1127624

📱 720-783-7174

📞 720-881-5979

✉️ christian.cuyler@goluminate.com

📍 8310 South Valley Highway 3rd Floor, Office 3174, Englewood, CO 80112



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From: Laura Nokes Lang <lnl@q.com>
Sent: Friday, April 28, 2023 1:56 PM
To: Kasza, Jacob
Subject: [EXTERNAL] Uplands development/LaPlace Court

Follow Up Flag: Follow up
Flag Status: Completed

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Dear Jacob,

I observed the webinar, virtual meeting on April 5th, 2023. I thought it was very informative. Two questions came up for me after the meeting was over, and I haven't had time, until now, to ask my questions. Perhaps you could answer them for me.

At the north end of LaPlace Court, where it intersects W. 82nd Avenue, a cul-de-sac is going to be built a little to the east on W. 82nd. I am fine with that, but I have two concerns:

- 1) I know the drainage from rain and snow melt collects at that intersection and causes a large pool of running water and ice. Is there some plan with what to do with all that water so it doesn't just collect in the cul-de-sac?
- 2) Is there any provision for pedestrian traffic to cross Bradburn Drive at the foot of the hill? We have a lot of walkers and bike riders going through here all the time, and they would be annoyed by having no good place to cross Bradburn.

Thanks for answering. I'm sorry I didn't have these questions ready for the virtual meeting.

Laura Nokes Lang



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From: Zach Weir <logan0282@hotmail.com>
Sent: Friday, February 10, 2023 12:57 PM
To: Caldwell, Patrick
Cc: Kasza, Jacob; Klein, Heath
Subject: Re: [EXTERNAL] Uplands Development

Follow Up Flag: Follow up
Flag Status: Completed

Thank you Patrick, Yes Heath should have my number on file . We have been dealing with this speeding issue on our streets for many years.

I actually wanted to follow up about a request for speed bumps or dips in the street. It seems there are no actual rules on the books Prohibiting speed bumps in westminster that we can find.

Could you please send over any documentation on your end Prohibiting speed bumps ? Building a neighborhood of caring and communication, The residents of shaw heights are ready to move forward with a city council meeting on this issue asap.

Best Regards
Zach Weir
3858 shaw blvd
720-352-3872

Sent from my T-Mobile 4G LTE Device
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From: Caldwell, Patrick <PCaldwel@CityofWestminster.us>
Sent: Thursday, January 26, 2023 12:16:24 PM
To: Zach Weir <Logan0282@hotmail.com>
Cc: Kasza, Jacob <jpkasza@CityofWestminster.us>; Klein, Heath <hklein@CityofWestminster.us>
Subject: RE: [EXTERNAL] Uplands Development

Hi Zach,
Jacob Kasza, Senior Planner, is now the lead staff Planner for the Uplands projects and he will update you. He is copied on this email.

Heath Klein, Transportation Engineer, can provide information on any changes proposed for Shaw Boulevard. Heath is copied on this email.

Can you send your phone number so that Jacob and Heath can contact you.

Patrick Caldwell, AICP **Senior Planner**

City of Westminster | Community Development Department
Planning Division

pcaldwel@cityofwestminster.us | 303.658.2090
4800 West 92nd Avenue, Westminster, CO 80031

City Hall Hours: Monday-Friday, 8 a.m.-5 p.m.

From: Zach Weir <Logan0282@hotmail.com>
Sent: Wednesday, January 25, 2023 6:39 PM
To: Caldwell, Patrick <PCaldwel@CityofWestminster.us>
Subject: [EXTERNAL] Uplands Development

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Hi Patrick,

Just curious what's the status of this development. I live on Shaw blvd down the street from the main parcel and speeding on my street is out of control. We are looking forward to the new development and road changes to help slow speeders. Any info would be Great .

Thank you
Zach Weir

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